

NORTH SQUARE AT THE MILL DISTRICT

AMHERST, MA

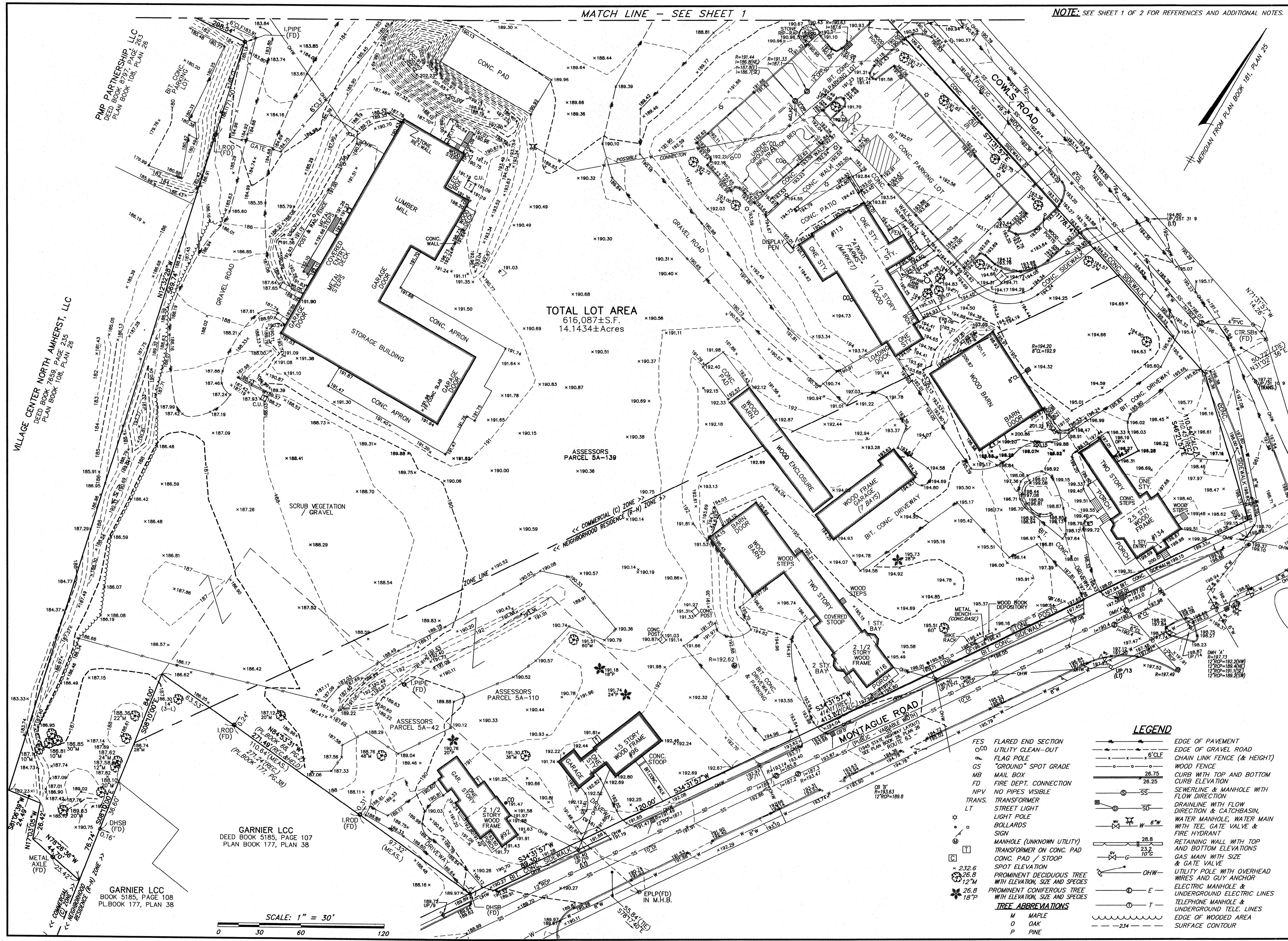
PCA PROJECT #: 15122.00

COMPREHENSIVE PERMIT SUBMISSION REVISION 1

DRAWING LIST						
REVISED	SHEET NO.	SHEET NAME	ISSUE DATE	NO.	CURRENT REVISION DESCRIPTION	DATE
ARCHITECTURAL						
	A3.03	ROOF PLAN				
GENERAL						
	G0-0	COVER	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
CIVIL						
	1	EXISTING CONDITION PLAN OF LAND IN AMHERST, MA	10/18/16	A	Comprehensive Permit Submission	10.25.2016
	2	EXISTING CONDITION PLAN OF LAND IN AMHERST, MA	10/18/16	A	Comprehensive Permit Submission	10.25.2016
	C-1	SITE PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	C-2	GRADING AND DRAINAGE PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	C-3	UTILITY PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	C-4	DEMOLITION PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
LANDSCAPE						
	L1.01	ILLUSTRATIVE LANDSCAPE SITE PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L2.01	LANDSCAPE MATERIALS PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L2.02	LANDSCAPE MATERIALS PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L3.01	LANDSCAPE PLANTING PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L3.02	LANDSCAPE PLANTING PLAN	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L4.00	LANDSCAPE PERSPECTIVES	11/22/16	A	Comprehensive Permit Submission Revision 1	11.22.2016
	L4.01	LANDSCAPE DETAILS - SIGNAGE	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L4.02	LANDSCAPE DETAILS - SITE FURNISHINGS	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L4.03	LANDSCAPE DETAILS - MISCELLANEOUS	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L4.04	LANDSCAPE DETAILS - FENCES AND GATES	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	L5.01	SITE LIGHTING KEY PLAN	11/22/16	A	Comprehensive Permit Submission Revision 1	11.22.2016
	L5.02	SITE LIGHTING PHOTOMETRIC PLAN	11/22/16	A	Comprehensive Permit Submission Revision 1	11.22.2016
ARCHITECTURAL						
	A1.00	PERSPECTIVES	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	A1.10	PERSPECTIVES	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	A1.20	PERSPECTIVES	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	A2.00	TYPICAL FLOOR & UNIT PLANS	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	A2.10	BUILDING A ELEVATION	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016
	A2.11	BUILDING B ELEVATION	10/25/16	B	Comprehensive Permit Submission Revision 1	11.22.2016



LOCUS PLAN



COWLS PROPERTY
(Amherst Mill District)

Sunderland, Cows & Montague Roads
Amherst, Massachusetts

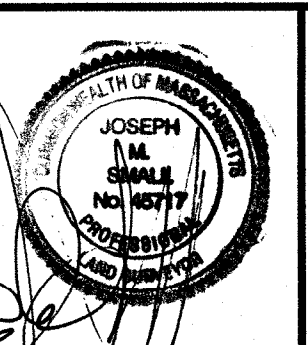
PREPARED FOR
BEACON COMMUNITIES SERVICES

Two Center Plaza
Suite 700
Boston, Massachusetts 02108

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3550, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



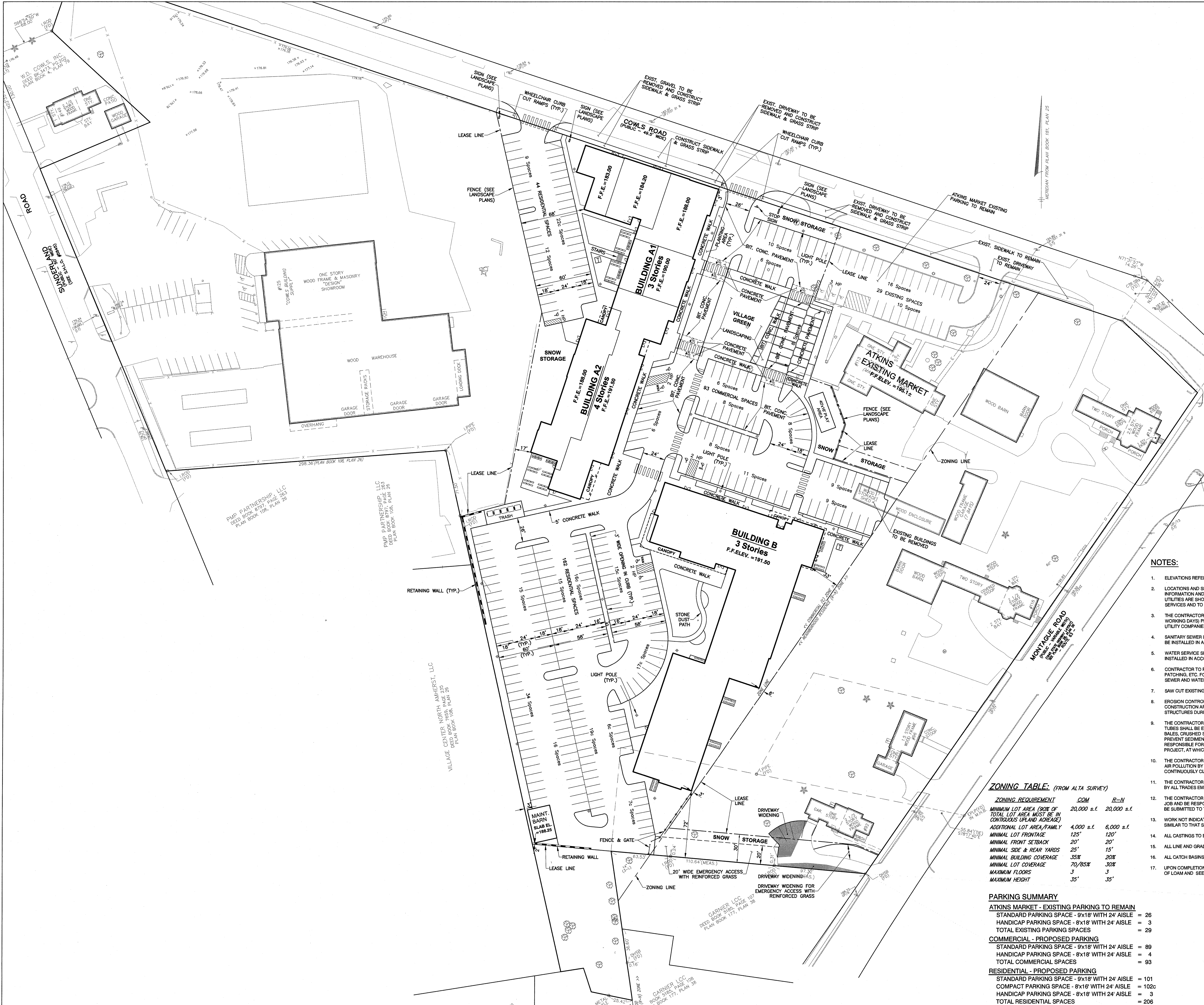
NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
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DATE: 9/21/2016 DRAWN BY: JMS
SCALE: 1" = 30' CHECK BY:

EXISTING CONDITIONS PLAN OF LAND IN AMHERST, MA

PROJECT NO.: 19827

- LEGEND**
- FLARED END SECTION
 - UTILITY CLEAN-OUT
 - FLAG POLE
 - "GROUND" SPOT GRADE
 - MAIL BOX
 - FIRE DEPT. CONNECTION
 - NO PIPES VISIBLE
 - TRANSFORMER
 - STREET LIGHT
 - BOLLARDS
 - SIGN
 - MANHOLE (UNKNOWN UTILITY)
 - TRANSFORMER ON CONC. PAD
 - CONC. PAD / STOOP
 - SPOT ELEVATION
 - PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
 - PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
 - TREE ABBREVIATIONS**
 - M MAPLE
 - O OAK
 - P PINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL ROAD
 - CHAIN LINK FENCE (& HEIGHT)
 - WOOD FENCE
 - CURB WITH TOP AND BOTTOM CURB ELEVATION
 - SEWERLINE & MANHOLE WITH FLOW DIRECTION
 - DRAINLINE WITH FLOW DIRECTION & CATCHBASIN
 - WATER MANHOLE, WATER MAIN WITH TEE, GATE VALVE & FIRE HYDRANT
 - RETAINING WALL WITH TOP AND BOTTOM ELEVATIONS
 - GAS MAIN WITH SIZE & GATE VALVE
 - UTILITY POLE WITH OVERHEAD WIRES AND GUY ANCHOR
 - ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
 - TELEPHONE MANHOLE & UNDERGROUND TELE. LINES
 - EDGE OF WOODED AREA
 - SURFACE CONTOUR



LEGEND

- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- HALF FOOT CONTOUR
- SPOT GRADE
- VERTICAL GRANITE CURB
- PRECAST CONCRETE CURB
- DRAIN LINE
- CATCH BASIN
- WATER QUALITY CATCH BASIN
- DRAIN MANHOLE
- WATER QUALITY DEVICE
- AREA DRAIN
- SEWER LINE
- SEWER MANHOLE
- FIRE LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- CONCRETE WALK
- RETAINING WALL
- EROSION CONTROL BARRIER

NOTES:

- ELEVATIONS REFER TO NAVD 88 (SEE SURVEY).
- LOCATIONS AND SIZES OF UNDERGROUND UTILITIES TAKEN FROM BEST AVAILABLE INFORMATION AND IS NOT WARRANTED TO BE CORRECT, NOR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. CONTRACTOR WILL BE RESPONSIBLE TO LOCATE ALL EXISTING SERVICES AND TO VERIFY SIZES FOR INSTALLATION OF NEW WORK.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" AT 1-888-344-7233, AT LEAST 72 HOURS (3 WORKING DAYS) PRIOR TO ANY EXCAVATION AND/OR SURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION.
- SANITARY SEWER LINE TO BE 8-INCH (SDR 35) POLYVINYL CHLORIDE (PVC) PIPE. SEWER TO BE INSTALLED IN ACCORDANCE WITH THE TOWN OF AMHERST DPW SPECIFICATIONS.
- WATER SERVICE SHALL BE DUCTILE IRON CEMENT LINED (DICL) CLASS 52 PIPE AND INSTALLED IN ACCORDANCE WITH THE TOWN OF AMHERST DPW SPECIFICATIONS.
- CONTRACTOR TO PROVIDE ALL EXCAVATION, INSTALLATION, BACKFILLING, PAVEMENT PATCHING, ETC. FOR THE INSTALLATION OF UNDERGROUND GAS, ELECTRIC, TELEPHONE, SEWER AND WATER SERVICES.
- SAW CUT EXISTING PAVEMENT WHERE NEW PAVEMENT MATCHES THE EXISTING PAVEMENT.
- EROSION CONTROL MEASURES TO BE PROVIDED AROUND THE PERIMETER OF THE CONSTRUCTION AREAS TO CONTROL SEDIMENTATION AND TO PROTECT DRAINAGE STRUCTURES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROLS. EROSION CONTROL TUBES SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM WASHING OFF THE SITE. HAY BALES, CRUSHED STONE OR SILT BAGS SHALL BE SET AROUND ON-SITE CATCH BASINS TO PREVENT SEDIMENT FROM WASHING INTO THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROLS UNTIL THE COMPLETION OF THE PROJECT, AT WHICH TIME THE SEDIMENT CONTROLS ARE TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROLS. WET DOWN DEBRIS TO PREVENT AIR POLLUTION BY DUST RISING FROM DEMOLITION WORK OR ROCK CRUSHING. CONTINUOUSLY CLEAN DRIVES AND WALKS OF FALLER OR WIND BLOWN DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK PERFORMED BY ALL TRADES EMPLOYED IN THIS PROJECT.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB AND BE RESPONSIBLE FOR FIT AND ACCURACY OF ALL WORK. DISCREPANCIES SHALL BE SUBMITTED TO THE ENGINEER FOR RESOLUTION.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
- ALL CASTINGS TO BE SET FLUSH WITH FINISH GRADE.
- ALL LINE AND GRADE WORK SHALL BE LAID OUT BY THE CONTRACTOR.
- ALL CATCH BASINS AND AREA DRAINS TO BE CLEANED UPON COMPLETION OF THE PROJECT.
- UPON COMPLETION OF SITE CONSTRUCTION, ALL DISTURBED SOILS SHALL HAVE 6-INCHES OF LOAM AND SEED.

ZONING TABLE: (FROM ALTA SURVEY)

ZONING REQUIREMENT	COM	R-N
MINIMUM LOT AREA (BOX OF TOTAL LOT AREA MUST BE IN CONTIGUOUS UPLAND AREAS)	20,000 s.f.	20,000 s.f.
ADDITIONAL LOT AREA/FAMILY	4,000 s.f.	6,000 s.f.
MINIMAL LOT FRONTAGE	125'	120'
MINIMAL FRONT SETBACK	20'	20'
MINIMAL SIDE & REAR YARDS	25'	15'
MINIMAL BUILDING COVERAGE	35%	20%
MINIMAL LOT COVERAGE	70/85%	30%
MAXIMUM FLOORS	3	3
MAXIMUM HEIGHT	35'	35'

PARKING SUMMARY

ATKINS MARKET - EXISTING PARKING TO REMAIN	
STANDARD PARKING SPACE - 9'x18' WITH 24' AISLE	= 26
HANDICAP PARKING SPACE - 8'x18' WITH 24' AISLE	= 3
TOTAL EXISTING PARKING SPACES	= 29
COMMERCIAL - PROPOSED PARKING	
STANDARD PARKING SPACE - 9'x18' WITH 24' AISLE	= 89
HANDICAP PARKING SPACE - 8'x18' WITH 24' AISLE	= 4
TOTAL COMMERCIAL SPACES	= 93

RESIDENTIAL - PROPOSED PARKING

STANDARD PARKING SPACE - 9'x18' WITH 24' AISLE	= 101
COMPACT PARKING SPACE - 8'x18' WITH 24' AISLE	= 102c
HANDICAP PARKING SPACE - 8'x18' WITH 24' AISLE	= 3
TOTAL RESIDENTIAL SPACES	= 206
TOTAL PARKING SPACES	= 328

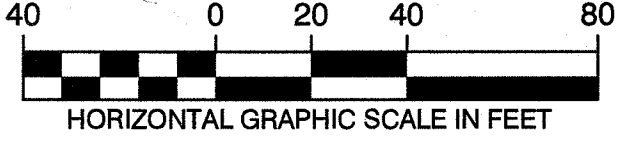
LEASE (LOT) AREA	= 233,974 S.F.
WETLAND AREA	= 0 S.F.
BUILDING COVERAGE	= 56,335 S.F. OR 24.1%
TOTAL LOT COVERAGE	= 190,250 S.F. OR 81.3%

PROPERTY OWNER: W.D. COWLS, INC.
DEVELOPER: BC NORTH SQUARE LLC

REFERENCES:

- EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND IN AMHERST, MA", DATED 9-21-2016, PDF FILE "19827ac (10-10-16).pdf" AND DIGITAL FILES "19827(wb)-4.dwg" AND "LEASE LINES.dwg", DATED THROUGH 10-19-2016, PREPARED BY HANCOCK ASSOCIATES.
- PROPOSED BUILDINGS AND SITE LAYOUT ARE BASED ON DIGITAL FILES RECEIVED ON VARIOUS DATES THROUGH 10-19-2016 FROM PRELLWITZ CHILINSKI ASSOCIATES AND BSC GROUP.

Beacon Communities Development LLC
North Square at The Mill District
Comprehensive Permit Submission
October 25, 2016



PCA
PRELLWITZ CHILINSKI ASSOCIATES
Architecture Planning Interiors

ARCHITECT:
PRELLWITZ CHILINSKI ASSOCIATES, INC.
221 Hampshire Street
Cambridge, MA 02139
617-547-8120

OWNER:
BEACON COMMUNITIES
2 CENTER PLZ #700
BOSTON, MA 02108
617-574-1100

CONSULTANT:
hwmooore
ASSOCIATES - INC.
CIVIL ENGINEERING LAND PLANNING
112 Shawmut Avenue
Boston, MA 02118-2227
Tel: 617-267-4146 Fax: 617-267-9486
Web: www.hwmooore.com

NORTH SQUARE AT THE MILL DISTRICT

PCA PROJECT #: 15122.00

AMHERST, MA

REVISIONS:	10/25/2016	11/22/2016
A - Comprehensive Permit Submission		
B - Comprehensive Permit Submission Revision 1		

JAMES M. WHITE
CIVIL
No. 37546
PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS

ORIGINAL ISSUE:
10/25/16

SCALE: 1"=40'

SITE PLAN

C-1

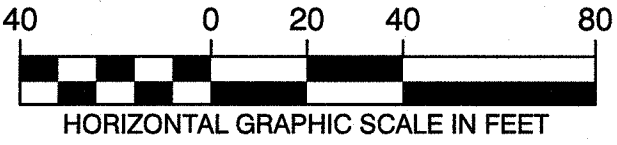
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LEGEND

- 190 INDEX CONTOUR
- 191 INTERMEDIATE CONTOUR
- 191.5 HALF FOOT CONTOUR
- 189.75 SPOT GRADE
- VERTICAL GRANITE CURB
- PRECAST CONCRETE CURB
- DRAIN LINE
- CATCH BASIN
- WATER QUALITY CATCH BASIN
- DMH DRAIN MANHOLE
- WQD WATER QUALITY DEVICE
- AD AREA DRAIN
- SEWER LINE
- SEWER MANHOLE
- WATER LINE
- FIRE HYDRANT
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ASSOCIATES, INC.
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Boston, MA 02116-2227
tel: 617-267-0145 fax: 617-267-9495
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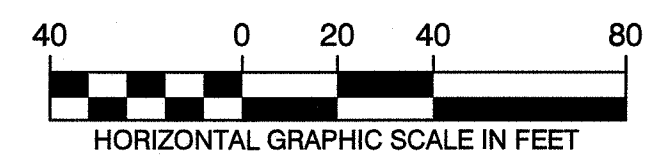
OFFICIAL SEAL OF JAMES M. WHITE, CIVIL ENGINEER, No. 32146, REGISTERED PROFESSIONAL ENGINEER.

ORIGINAL ISSUE:
10/25/16

SCALE: 1"=40'

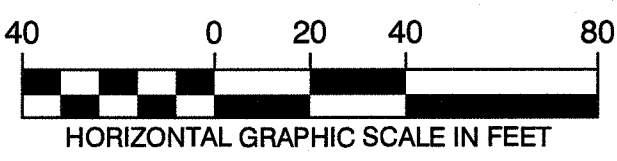
GRADING & DRAINAGE PLAN

C-2

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PCA PROJECT #: 15122.00

PCA
PRELLWITZ CHILINSKI ASSOCIATES
Architecture Planning Interiors



DEMOLITION NOTES:

1. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL-FREE, THE DIG-SAFE CALL CENTER AT 1-888-344-7233, SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
2. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF AMHERST.
3. EARTHEN STOCKPILES NOT IN ACTIVE USE FOR MORE THAN 48 HOURS SHALL BE KEPT COVERED.
4. STRIPPED TOPSOIL SHALL BE DEPOSITED INSIDE LEASE LINE.
5. CONTRACTOR TO EMPLOY MEASURES TO CONTROL DUST DURING DEMOLITION.
6. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE, UNLESS OTHERWISE CALLED FOR OR DIRECTED.
7. AFTER REMOVAL OF STRUCTURES, NO EXCAVATION OR ANY SLOPE ON THE SITE SHALL BE LEFT STEEPER THAN 2:1.
8. UPON COMPLETION OF DEMOLITION, ALL EXPOSED SURFACES NOT COVERED WITH LANDSCAPING OR PAVEMENT SHALL HAVE 1-INCH OF STRAW MULCH STREWN OVER THE AREAS TO PROTECT AGAINST EROSION AND WIND BLOWN DUST.
9. SEE LANDSCAPE PLANS FOR TREE PROTECTION & DETAILS.

PCA
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NORTH SQUARE AT THE MILL DISTRICT

AMHERST, MA

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SEAL OF THE TOWN OF AMHERST
JAMES M. WHITE
CIVIL
NOV 23 2016

ORIGINAL ISSUE:
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DEMOLITION PLAN

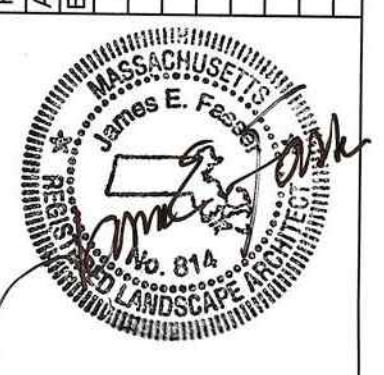
C-4

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NORTH SQUARE AT THE MILL DISTRICT

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ORIGINAL ISSUE
10/25/16

SCALE: AS NOTED

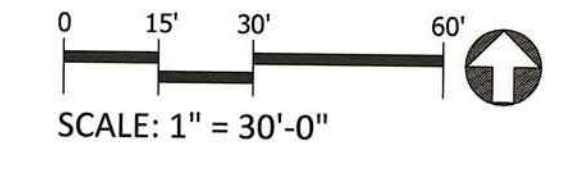
ILLUSTRATIVE
LANDSCAPE
SITE PLAN

L1.01

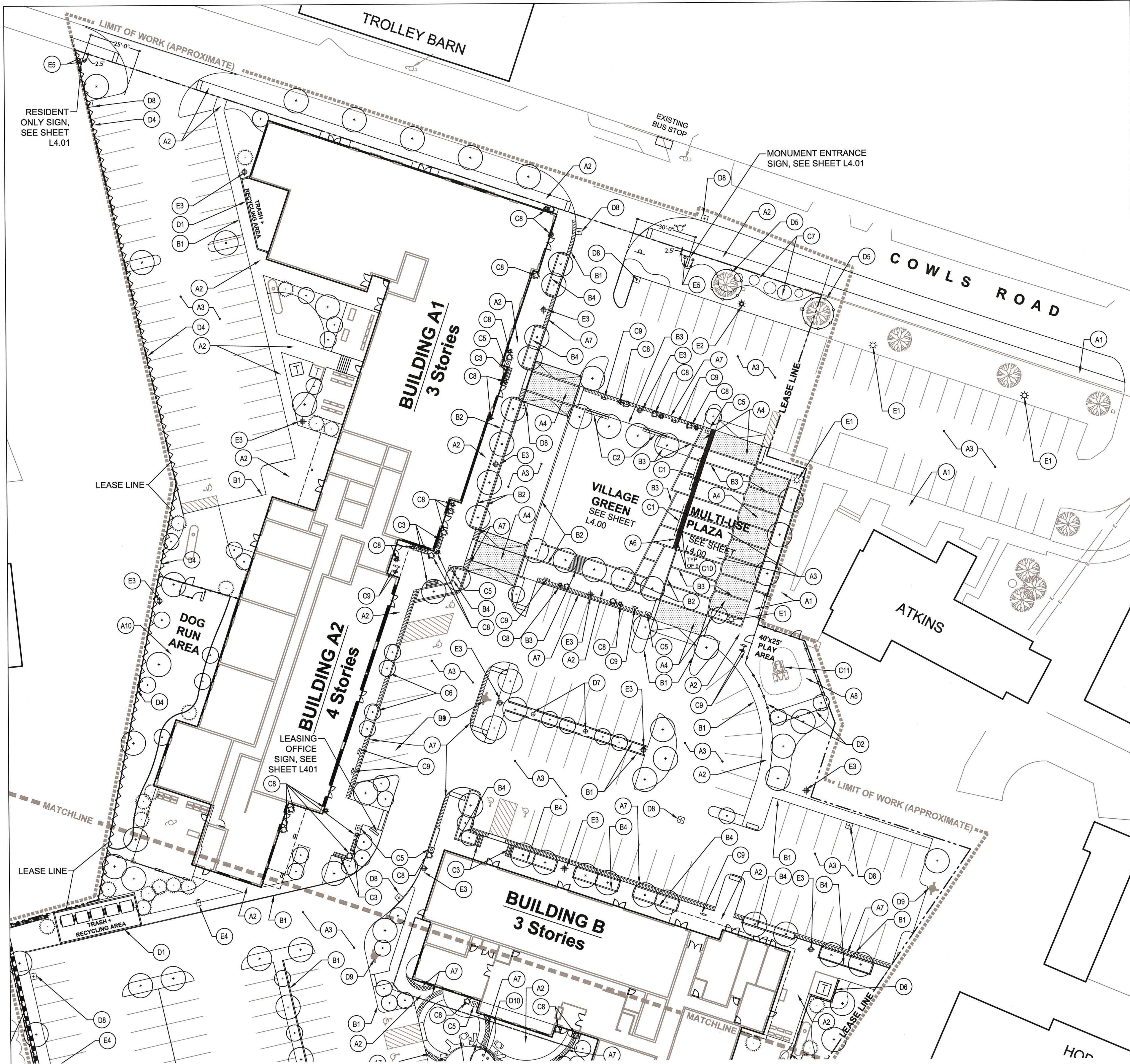


PLANTING LEGEND

- DECIDUOUS SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO REMAIN
- SHRUB/PERENNIAL PLANTING BED
- BIOSWALE PLANTING AREA
- LAWN AREA



North Square at The Mill District
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MATERIALS LEGEND			
SYMBOL	KEY	DESCRIPTION	DETAIL
PAVING + CURBS			
(A1)		EXISTING CONCRETE WALKWAY PAVING	
(A2)		POURED IN PLACE CONCRETE WALKWAY PAVING - SEE CIVIL DRAWINGS	
(A3)		BITUMINOUS CONCRETE ROADWAY AND PARKING LOT PAVING - SEE CIVIL DRAWINGS	
(A4)		POURED IN PLACE VEHICULAR CONCRETE PAVING - SEE CIVIL DRAWINGS	
(A5)		STONE DUST PATH	
(A6)		ACCESSIBLE TACTILE WARNING TILES (CAST-IN-PLACE, REPLACEABLE)	
(A7)		CONCRETE UNIT PAVER ACCENT PAVING	
(A8)		RUBBERIZED PLAYGROUND SURFACE	
(A9)		REINFORCED TURF AT EMERGENCY FIRE ACCESS LANE	
(A10)		PEA GRAVEL PAVING AT DOG RUN	
CURBS + EDGING			
(B1)		VERTICAL CURB - SEE CIVIL DRAWINGS	
(B2)		VERTICAL GRANITE LANDSCAPE CURB	
(B3)		FLUSH GRANITE CURB	
(B4)		GALVANIZED STEEL LANDSCAPE EDGE (8" HEIGHT, 3/8" THICK)	
SITE FURNISHINGS			
(C1)		CUSTOM TIMBER BENCH WITH BACK	(1) L402
(C2)		CUSTOM TIMBER BACKLESS BENCH	(5) L402
(C3)		BENCH WITH ARMRESTS + BACK (STYLE TO BE DETERMINED)	
(C4)		COURTYARD BENCH SEATING (STYLE TO BE DETERMINED)	
(C5)		TRASH RECEPTACLE (STYLE TO BE DETERMINED)	
(C6)		GALVANIZED STEEL TREE PLANTER (REPURPOSED WATER TROUGH)	(1) L403
(C7)		LANDSCAPE BUFFER TREATMENT AT FRONT PARKING AREA (REPURPOSED CORRUGATED CULVERT/TANK)	(4) L403
(C8)		GALVANIZED STEEL ACCENT PLANTER (REPURPOSED TRASH CANS + BINS)	(1) L402
(C9)		GALVANIZED STEEL POST + HOOP BIKE RACK	(2) L402
(C10)		STEEL BEAM BOLLARD (8'-0" O.C. SPACING)	(3) L403
(C11)		PLAY STRUCTURE	(6) L403
(C12)		FIRE PIT AMENITY FEATURE (TO BE DETERMINED)	
MISCELLANEOUS			
(D1)		METAL PANEL AND WOOD POST ENCLOSURE AT TRASH + RECYCLING COLLECTION AREA	(1) L404
(D2)		METAL PICKET FENCE - 5'-0" HEIGHT	(4) L404
(D3)		EMERGENCY ACCESS GATE AT FIRE LANE	(3) L404
(D4)		CORRUGATED METAL PANEL FENCE	(2) L404
(D5)		TREE PROTECTION FENCE (INSTALL AND MAINTAIN AT DRIPLINE)	
(D6)		WOOD SCREEN FENCE - 6'-0" HEIGHT	
(D7)		BEEHIVE DRAIN AT BIOSWALE - SEE CIVIL DRAWINGS	
(D8)		CATCH BASIN - SEE CIVIL DRAWINGS	
(D9)		FIRE HYDRANT LOCATION - SEE CIVIL DRAWINGS	
(D10)		COURTYARD PRIVACY SCREEN (TO BE DETERMINED)	
LIGHTING			
(E1)		EXISTING POST TOP LIGHT FIXTURE TO REMAIN	
(E2)		RELOCATED POST TOP LIGHT FIXTURE	
(E3)		POST TOP POLE LIGHT FIXTURE (LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE)	(3) L403
(E4)		PARKING LOT POLE LIGHT FIXTURE (20' HEIGHT, LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE)	(4) L403
(E5)		IN-GROUND SIGN LIGHT FIXTURE	(2) L403
PLANT LEGEND			
(T)		EXISTING TREE TO REMAIN	
(P)		PROPOSED DECIDUOUS, ORNAMENTAL OR EVERGREEN TREE (SEE PLANTING PLAN)	

NOT FOR CONSTRUCTION

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Architecture Planning Interiors

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Cambridge, MA 02139
617-547-8120

OWNER:
BEACON COMMUNITIES
2 CENTER PLZ #700
BOSTON, MA 02108
617-574-1100

LANDSCAPE ARCHITECT:
BSC GROUP
803 Summer Street
Boston, MA 02127
617-598-4300

NORTH SQUARE AT THE MILL DISTRICT

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AMHERST, MA

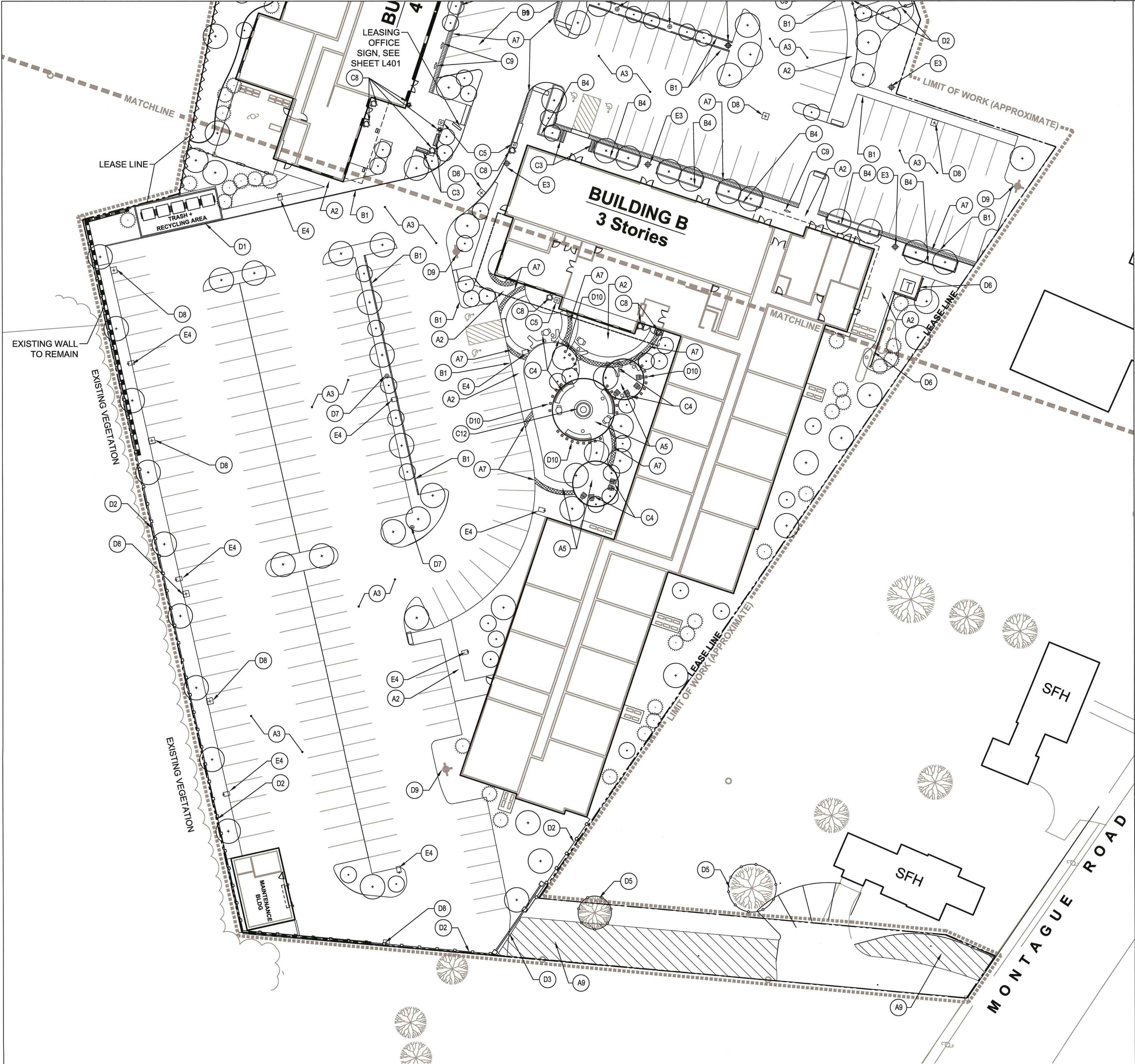
REVISIONS:	10/25/2016	11/22/2016
A	Comprehensive Permit Submission	
B	Comprehensive Permit Submission Revision 1	

ORIGINAL ISSUE:
10/25/16
SCALE: 1" = 20'-0"

LANDSCAPE MATERIALS PLAN

L2.01

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MATERIALS LEGEND			
SYMBOL	KEY	DESCRIPTION	DETAIL
PAVING + CURBS			
A1		EXISTING CONCRETE WALKWAY PAVING	
A2		POURED IN PLACE CONCRETE WALKWAY PAVING - SEE CIVIL DRAWINGS	
A3		BITUMINOUS CONCRETE ROADWAY AND PARKING LOT PAVING - SEE CIVIL DRAWINGS	
A4		POURED IN PLACE VEHICULAR CONCRETE PAVING - SEE CIVIL DRAWINGS	
A5		STONE DUST PATH	
A6		ACCESSIBLE TACTILE WARNING TILES (CAST-IN-PLACE, REPLACEABLE)	
A7		CONCRETE UNIT PAVER ACCENT PAVING	
A8		RUBBERIZED PLAYGROUND SURFACE	
A9		REINFORCED TURF AT EMERGENCY FIRE ACCESS LANE	
A10		PEA GRAVEL PAVING AT DOG RUN	
CURBS + EDGING			
B1		VERTICAL CURB - SEE CIVIL DRAWINGS	
B2		VERTICAL GRANITE LANDSCAPE CURB	
B3		FLUSH GRANITE CURB	
B4		GALVANIZED STEEL LANDSCAPE EDGE (8" HEIGHT, 3/8" THICK)	
SITE FURNISHINGS			
C1		CUSTOM TIMBER BENCH WITH BACK	1/402
C2		CUSTOM TIMBER BACKLESS BENCH	2/402
C3		BENCH WITH ARMRESTS + BACK (STYLE TO BE DETERMINED)	
C4		COURTYARD BENCH SEATING (STYLE TO BE DETERMINED)	
C5		TRASH RECEPTACLE (STYLE TO BE DETERMINED)	
C6		GALVANIZED STEEL TREE PLANTER (REPURPOSED WATER TROUGH)	1/403
C7		LANDSCAPE BUFFER TREATMENT AT FRONT PARKING AREA (REPURPOSED CORRUGATED CULVERT/TANK)	4/403
C8		GALVANIZED STEEL ACCENT PLANTER (REPURPOSED TRASH CANS + BINS)	1/402
C9		GALVANIZED STEEL POST + HOOP BIKE RACK	2/402
C10		STEEL BEAM BOLLARD (6'-0" O.C. SPACING)	3/403
C11		PLAY STRUCTURE	6/403
C12		FIRE PIT AMENITY FEATURE (TO BE DETERMINED)	
MISCELLANEOUS			
D1		METAL PANEL AND WOOD POST ENCLOSURE AT TRASH + RECYCLING COLLECTION AREA	1/404
D2		METAL PICKET FENCE - 5'-0" HEIGHT	4/404
D3		EMERGENCY ACCESS GATE AT FIRE LANE	3/404
D4		CORRUGATED METAL PANEL FENCE	2/404
D5		TREE PROTECTION FENCE (INSTALL AND MAINTAIN AT DRIPLINE)	
D6		WOOD SCREEN FENCE - 6'-0" HEIGHT	
D7		BEEHIVE DRAIN AT BIOSWALE - SEE CIVIL DRAWINGS	
D8		CATCH BASIN - SEE CIVIL DRAWINGS	
D9		FIRE HYDRANT LOCATION - SEE CIVIL DRAWINGS	
D10		COURTYARD PRIVACY SCREEN (TO BE DETERMINED)	
LIGHTING			
E1		EXISTING POST TOP LIGHT FIXTURE TO REMAIN	
E2		RELOCATED POST TOP LIGHT FIXTURE	
E3		POST TOP POLE LIGHT FIXTURE (LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE)	3/403
E4		PARKING LOT POLE LIGHT FIXTURE (20' HEIGHT, LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE)	4/403
E5		IN-GROUND SIGN LIGHT FIXTURE	2/403
PLANT LEGEND			
		EXISTING TREE TO REMAIN	
		PROPOSED DECIDUOUS, ORNAMENTAL OR EVERGREEN TREE (SEE PLANTING PLAN)	

KEY MAP

NOT FOR CONSTRUCTION

North Square at The Mill District
Comprehensive Permit Submission
Beacon Communities Development LLC
October 25, 2016

PCA

PRELLWITZ CHILINSKI ASSOCIATES
Architecture Planning Interiors

ARCHITECT:
PRELLWITZ CHILINSKI ASSOCIATES, INC.
221 Hampshire Street
Cambridge, MA 02139
617-547-8120

OWNER:
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2 CENTER PLZ #700
BOSTON, MA 02108
617-574-1100

LANDSCAPE ARCHITECT:
BSC GROUP
803 Summer Street
Boston, MA 02107
617-886-4300

NORTH SQUARE AT THE MILL DISTRICT

AMHERST, MA

PCA PROJECT #: 15122.00

REVISIONS

NO.	DATE	DESCRIPTION
1	10/25/2016	Comprehensive Permit Submission
2	11/22/2016	Comprehensive Permit Submission Revision 1

ORIGINAL ISSUE:
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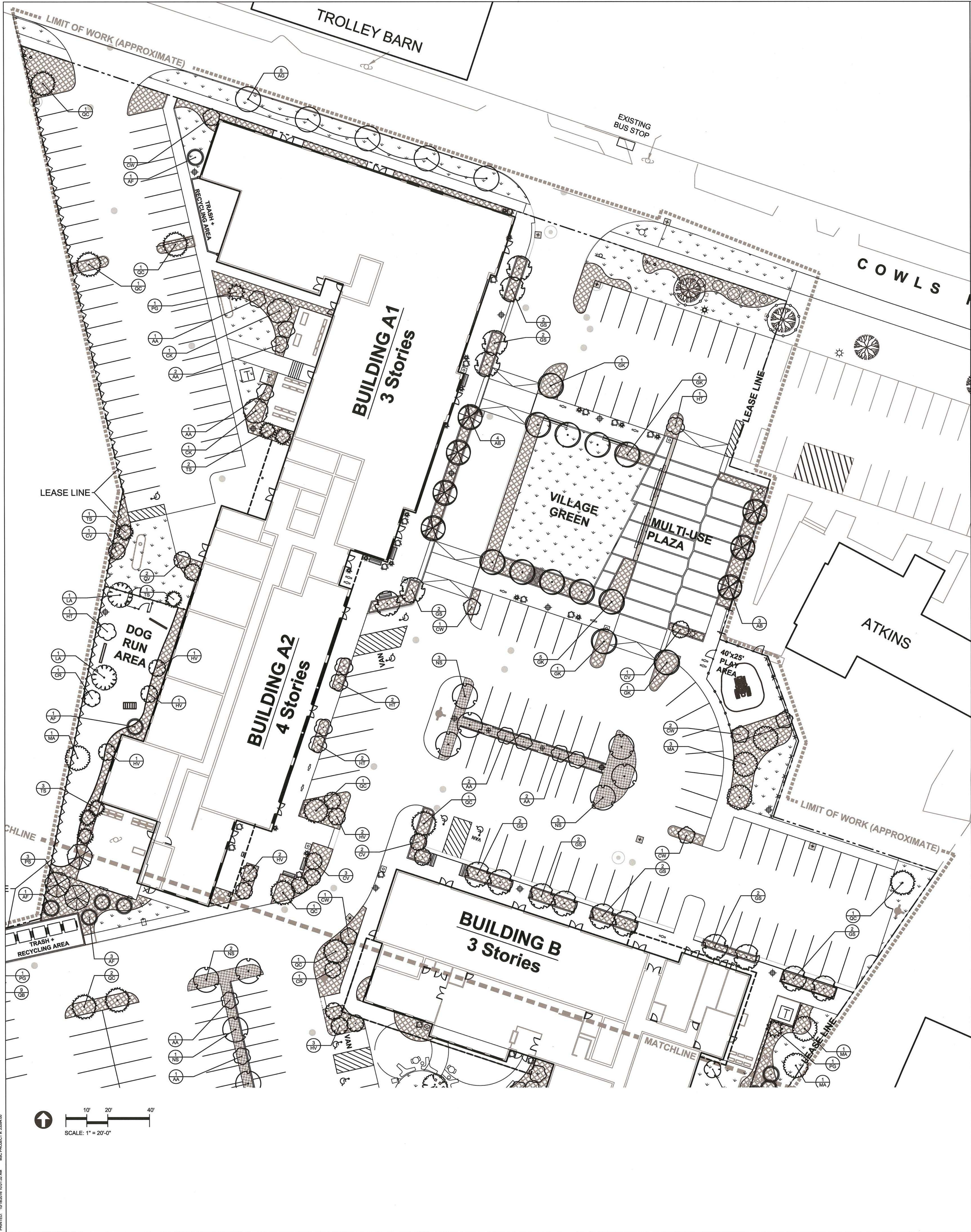
LANDSCAPE MATERIALS PLAN

L2.02

PRINTED: 10/25/2016 10:01:52 AM BSC PROJECT #: 23284.00

10' 20' 40'

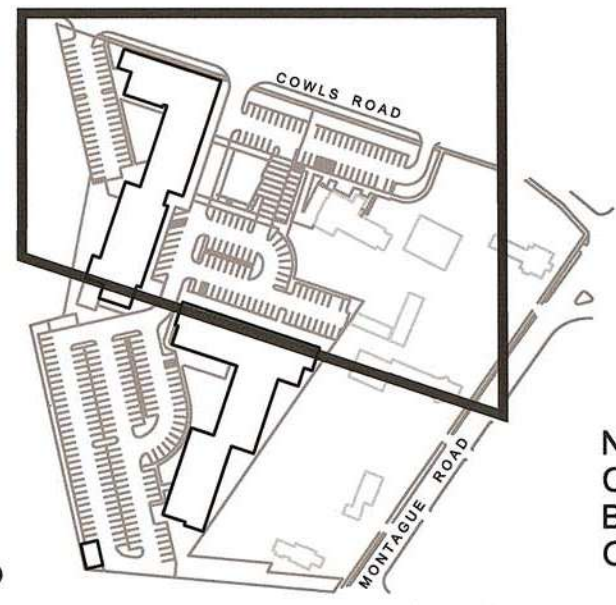
SCALE: 1" = 20'-0"



PLANT SCHEDULE						
DECIDUOUS TREES						
KEY	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	NATIVE	REMARKS
AB	7	ACER RUBRUM 'BOWHALL' / BOWHALL MAPLE	B & B	2.5" CAL	Y	UP-BRANCHED, DENSE FORM, 7' MIN. HEIGHT TO FIRST BRANCH
AG	8	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	1.5" CAL	Y	UP-BRANCHED, DENSE FORM, 7' MIN. HEIGHT TO FIRST BRANCH
BW	7	BETULA POPULIFOLIA 'WHITESPIRE' / WHITESPIRE BIRCH	B & B	10-12" HEIGHT	Y	CLUMP (3 STEMS), MATCHING SPECIMENS
CK	4	CLADRASTIS KENTUCKEA / AMERICAN YELLOWWOOD	B & B	2" CAL	Y	UP-BRANCHED, DENSE FORM
GS	16	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2.5" CAL	Y	WELL BRANCHED, DENSE FORM, 7' MIN. HEIGHT TO FIRST BRANCH
GK	13	GYMNOCLADUS DIOICA / KENTUCKY COFFEE TREE	B & B	3.5" CAL	Y	DENSE FORM, MATCHING SPECIMENS, 7' MIN. HEIGHT TO FIRST BRANCH
LA	3	LIRIODENDRON TULIPIFERA 'ARNOLD' / ARNOLD TULIP POPLAR	B & B	1.5" CAL	Y	WELL BRANCHED, DENSE FORM
MA	7	MAGNOLIA ACUMINATA / CUCUMBERTREE MAGNOLIA	B & B	1.5" CAL	Y	WELL BRANCHED, DENSE FORM
NS	17	NYSSA SYLVATICA / SOUR GUM	B & B	1.5" CAL	Y	WELL BRANCHED, DENSE FORM
QB	9	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	1.5" CAL	Y	WELL BRANCHED, DENSE FORM
QC	12	QUERCUS PALUSTRIS 'CROWNRIGHT' / CROWNRIGHT PIN OAK	B & B	1.5" CAL	Y	WELL BRANCHED, DENSE FORM
EVERGREEN TREES						
KEY	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	NATIVE	REMARKS
AF	16	ABIES FRASERI / FRASER FIR	B & B	6-8" HEIGHT	Y	WELL BRANCHED, DENSE FORM
PG	5	PICEA GLAUCA / WHITE SPRUCE	B & B	6-8" HEIGHT	Y	WELL BRANCHED, DENSE FORM
PS	5	PINUS STROBUS / WHITE PINE	B & B	6-8" HEIGHT	Y	WELL BRANCHED, DENSE FORM
TS	13	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	B & B	6-8" HEIGHT	Y	WELL-BRANCHED, DENSE FORM
FLOWERING TREES						
KEY	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	NATIVE	REMARKS
AA	13	AMELANCHIER ARBOREA 'AUTUMN BRILLIANCE' / DOWNY SERVICEBERRY	B & B	6-8" HEIGHT	Y	MULTI-STEM, DENSE FORM
CC	4	CERCIS CANADENSIS / EASTERN REDBUD	B & B	1.5" CAL	Y	
CV	9	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	B & B	6-8" HEIGHT	Y	MULTI-STEM, DENSE FORM
CR	10	CORNUS FLORIDA RUBRA / PINK FLOWERING DOGWOOD	B & B	8-10" HEIGHT	Y	MULTI-STEM, DENSE FORM
CW	8	CRATAEGUS VIRIDIS 'WINTER KING' / 'WINTER KING' HAWTHORN	B & B	1.5" CAL	Y	
HT	7	HALESIA TETRAPTERA / CAROLINA SILVERBELL	B & B	1.5" CAL	Y	SINGLE-STEM, MATCHING SPECIMENS, 6' MIN. HEIGHT TO FIRST BRANCH
HV	12	HAMAMELIS VIRGINIANA / COMMON WITCH HAZEL	B & B	6-8" HEIGHT	Y	
SL	8	SYRINGA VULGARIS 'PRESIDENT LINCOLN' / PRESIDENT LINCOLN LILAC	B & B	6-8" HEIGHT	Y	MULTI-STEM, DENSE FORM
SHRUBS						
KEY	QTY	BOTANICAL NAME / COMMON NAME	SIZE	NATIVE	REMARKS	
AC		ARONIA ARBUTIFOLIA 'BRILLANTISSIMA' / BRILLIANT RED CHOKEBERRY/RED CHOKEBERRY	5 GAL	Y		
CH		CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET	5 GAL	Y		
HA		HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	5 GAL	Y		
HW		HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	5 GAL	Y		
IG		ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	5 GAL	Y		
IR		ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	5 GAL	Y		
JB		JUNIPERUS VIRGINIANA 'BLUE ARROW' / BLUE ARROW JUNIPER	5 GAL	Y		
LD		LEUCOTHOE FONTANESIANA / DROOPING LEUCOTHOE	5 GAL	Y		
MP		MYRICA PENNSYLVANICA / NORTHERN BAYBERRY	5 GAL	Y		
RB		RHUS TYPHINA 'BAL TIGER' TM / TIGER EYES SUMAC	5 GAL	Y		
RF		ROSA RUGOSA 'FRAU DAGMAR HASTRUP' / ROSE	5 GAL	Y		
SE		SAMBUCUS CANADENSIS / ELDERBERRY	5 GAL	Y		
SA		SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL	Y		
VM		VIBURNUM ACERIFOLIUM / MAPLELEAF VIBURNUM	5 GAL	Y		
VP		VIBURNUM NUDUM / POSSUMHAW	5 GAL	Y		
VA		VIBURNUM TRILOBUM 'ALFREDO COMPACTUM' / ALFREDO COMPACT AMERICAN CRANBERRYBUSH	5 GAL	Y		
PERENNIALS, GRASSES + GROUNDCOVERS						
KEY	QTY	BOTANICAL NAME / COMMON NAME	SIZE	NATIVE	REMARKS	
AMT		AMSONIA TABERNAEMONTANA / EASTERN BLUESTAR	2 GAL	Y		
AMB		AMSONIA TABERNAEMONTANA 'BLUE ICE' / BLUE ICE STAR FLOWER	1 GAL	Y		
ASY		ASCLEPIAS SYRIACA / COMMON MILKWEED	1 GAL	Y		
BAA		BAPTISIA ALBA / WILD INDIGO	1 GAL	Y		
BAP		BAPTISIA AUSTRALIS 'PURPLE SMOKE' / BLUE WILD INDIGO	1 GAL	Y		
DCG		DESCHAMPSIA CESPITOSA 'GOLDTAU' / GOLD DEW TUFTED HAIR GRASS	1 GAL	Y		
ECP		ECHINACEA PALLIDA / PALE PURPLE CONEFLOWER	1 GAL	Y		
GME		GERANIUM MACULATUM 'ESPRESSO' / SPOTTED GERANIUM	1 GAL	Y		
GER		GERANIUM X 'ROZANNE' TM / HYBRID CRANESBILL	1 GAL	Y		
JHB		JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER	3 GAL	Y		
LIS		LIATRIS SPICATA / SPIKE GAYFEATHER	1 GAL	Y		
LSA		LIATRIS SPICATA 'ALBA' / SPIKE BLAZING-STAR	1 GAL	Y		
PAD		PANICUM AMARUM 'DEWEY BLUE' / BITTER PANIC GRASS	2 GAL	Y		
PVC		PANICUM VIRGATUM 'CAPE BREEZE' / SWITCH GRASS	1 GAL	Y		
PAT		PEROVSKIA ATRIPLICIFOLIA / LITTLE SPIRE RUSSIAN SAGE	1 GAL	Y		
PPD		PHLOX PANICULATA 'DAVID' / WHITE SUMMER PHLOX	1 GAL	Y		
PVM		PHYSTEGIA VIRGINIANA 'MISS MANNERS' TM / MISS MANNERS OBEDIENT PLANT	1 GAL	Y		
RAG		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL	Y		
SAM		SALVIA NEMOROSA 'AMETHYST' / AMETHYST SAGE	1 GAL	Y		
SMN		SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE	1 GAL	Y		
SNS		SORGHASTRUM NUTANS 'SIOUX BLUE' / BLUE INDIAN GRASS	2 GAL	Y		
SPT		SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED	1 GAL	Y		

LEGEND	
	LANDSCAPE PLANTING BED (SHRUBS, PERENNIALS, GRASSES + GROUNDCOVERS)
	OPEN LAWN AREAS
	BIOSWALE PLANTING AREA
	REINFORCED LAWN (EMERGENCY FIRE LANE ACCESS)

KEY MAP



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North Square at The Mill District
Comprehensive Permit Submission
Beacon Communities Development LLC
October 25, 2016

PCA

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Architecture Planning Interiors

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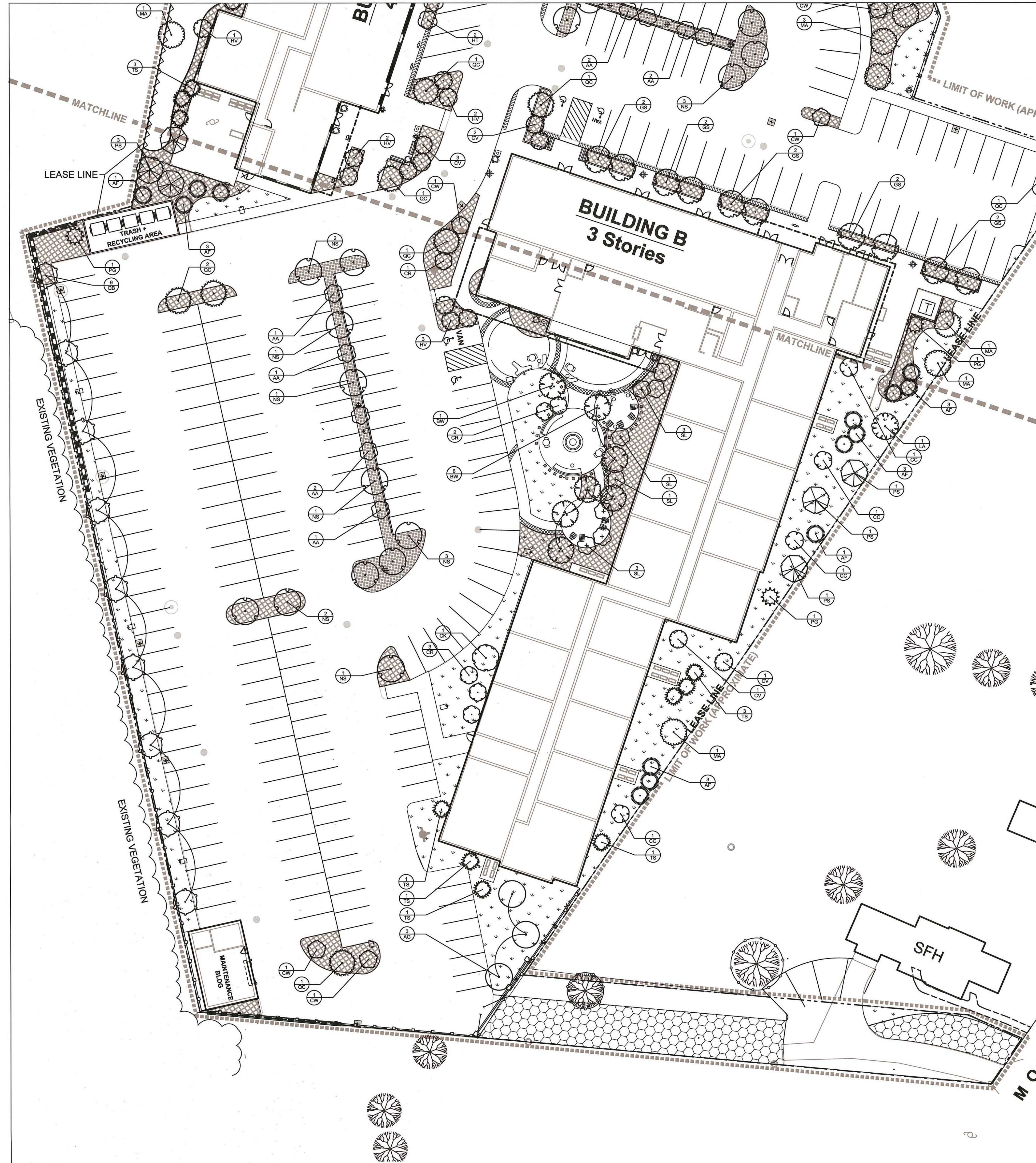
10/25/16

SCALE: 1" = 20'-0"

LANDSCAPE PLANTING PLAN

L3.01

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PLANT SCHEDULE

DECIDUOUS TREES

KEY	QTY	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	NATIVE	REMARKS
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SA		SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL	Y	
VM		VIBURNUM ACERIFOLIUM / MAPLELEAF VIBURNUM	5 GAL	Y	
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PERENNIALS, GRASSES + GROUNDCOVERS

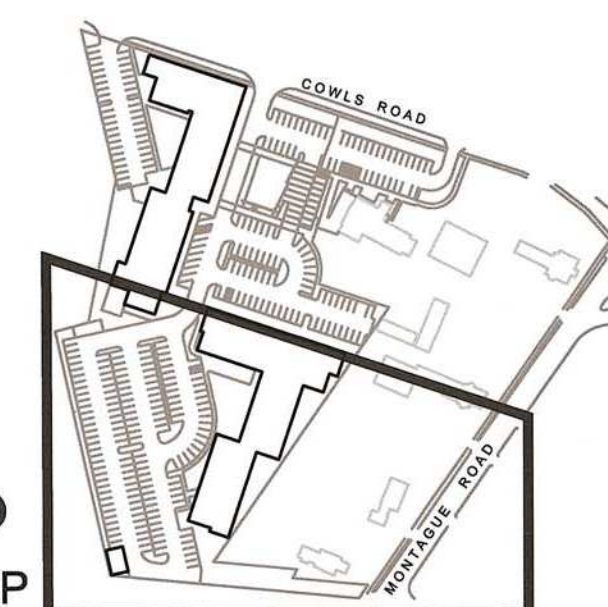
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BAP		BAPTISIA AUSTRALIS 'PURPLE SMOKE' / BLUE WILD INDIGO	1 GAL	Y	
DCG		DESCHAMPSIA CESPITOSA 'GOLDTAP' / GOLD DEW TUFTED HAIR GRASS	1 GAL	Y	
ECP		ECHINACEA PALLIDA / PALE PURPLE CONEFLOWER	1 GAL	Y	
GME		GERANIUM MACULATUM 'ESPRESSO' / SPOTTED GERANIUM	1 GAL	Y	
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JHB		JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER	3 GAL	Y	
LIS		LIATRIS SPICATA / SPIKE GAYFEATHER	1 GAL	Y	
LSA		LIATRIS SPICATA 'ALBA' / SPIKE BLAZING-STAR	1 GAL	Y	
PAD		PANICUM AMARUM 'DEWEY BLUE' / BITTER PANIC GRASS	2 GAL	Y	
PVC		PANICUM VIRGATUM 'CAPE BREEZE' / SWITCH GRASS	1 GAL	Y	
PAT		PEROVSKIA ATRIPLICIFOLIA / LITTLE SPIRE RUSSIAN SAGE	1 GAL	Y	
PPD		PHLOX PANICULATA 'DAVID' / WHITE SUMMER PHLOX	1 GAL	Y	
PVM		PHYSOTEGIA VIRGINIANA 'MISS MANNERS' TM / MISS MANNERS OBEYDIANT PLANT	1 GAL	Y	
RAG		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL	Y	
SAM		SALVIA NEMOROSA 'AMETHYST' / AMETHYST SAGE	1 GAL	Y	
SMN		SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE	1 GAL	Y	
SNS		SORGHASTRUM NUTANS 'SIOUX BLUE' / BLUE INDIAN GRASS	2 GAL	Y	
SPT		SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED	1 GAL	Y	

LEGEND

- LANDSCAPE PLANTING BED (SHRUBS, PERENNIALS, GRASSES + GROUNDCOVERS)
- OPEN LAWN AREAS
- BIOSWALE PLANTING AREA
- REINFORCED LAWN (EMERGENCY FIRE LANE ACCESS)

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KEY MAP



North Square at The Mill District
Comprehensive Permit Submission
Beacon Communities Development LLC
October 25, 2016

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NORTH SQUARE AT THE MILL DISTRICT

PCA PROJECT #: 15122.00

AMHERST, MA

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B	11/22/2016	Comprehensive Permit Submission Revision 1



ORIGINAL ISSUE:
10/25/16

SCALE: 1" = 20'-0"

LANDSCAPE
PLANTING
PLAN

L3.02

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VILLAGE GREEN AND PLAZA - DAILY USE



VILLAGE GREEN AND PLAZA - SPECIAL EVENT USE



VILLAGE GREEN - SPECIAL EVENT USE (FACING EAST)



MULTI-USE PLAZA - SPECIAL EVENT USE (FACING COWLS ROAD)

REVISIONS	DATE	DESCRIPTION
A	10/25/2016	Comprehensive Permit Submission
B	11/22/2016	Comprehensive Permit Submission Revision 1



ORIGINAL ISSUE:
10/25/16

SCALE:
NOT TO SCALE

LANDSCAPE
PERSPECTIVES

L4.00

North Square at The Mill District
Comprehensive Permit Submission
Beacon Communities Development LLC
October 25, 2016

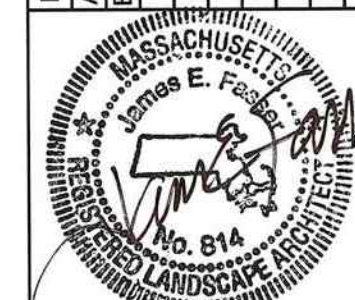
NOT FOR CONSTRUCTION

NORTH SQUARE AT THE MILL DISTRICT

PCA PROJECT #: 15122.00

AMHERST, MA

REVISIONS:	10/25/2016	Comprehensive Permit Submission
A	11/22/2016	Comprehensive Permit Submission Revision 1
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ORIGINAL ISSUE:
10/25/16

SCALE: AS NOTED

LANDSCAPE
DETAILS -
SIGNAGE

L4.01

JOB# PENDING	EST#	ITEM# TBD	DUE DATE:	PROOF DATE: 10/18/16
ITEM: MAIN ENTRANCE				
LAYOUT BY: <i>Dr. D.</i>				
EXPOSE SIGNS & GRAPHICS, INC. 13 Airport Road • Hopkinton, MA phone 508.381.0941 fax 508.381.3784 www.exposigns.net		BEACON COMMUNITIES NORTH SQUARE AT THE MILL DISTRICT ATTN: MARINA ZANELLI		
MAIN ENTRY MONUMENT		APPROVAL SIGNATURE & DATE REQUIRED FOR PRODUCTION SIGNATURE _____ DATE _____		

MONUMENT ENTRANCE SIGN

JOB# PENDING	EST#	ITEM# TBD	DUE DATE:	PROOF DATE: 10/18/16
ITEM: RESIDENT ENTRANCE				
LAYOUT BY: <i>Dr. D.</i>				
EXPOSE SIGNS & GRAPHICS, INC. 13 Airport Road • Hopkinton, MA phone 508.381.0941 fax 508.381.3784 www.exposigns.net		BEACON COMMUNITIES NORTH SQUARE AT THE MILL DISTRICT ATTN: MARINA ZANELLI		
RESIDENT ENTRANCE		APPROVAL SIGNATURE & DATE REQUIRED FOR PRODUCTION SIGNATURE _____ DATE _____		

RESIDENT ONLY SIGN

JOB# PENDING	EST#	ITEM# TBD	DUE DATE:	PROOF DATE: 10/18/16
ITEM: LEASING CENTER WAYFINDING				
LAYOUT BY: <i>Dr. D.</i>				
EXPOSE SIGNS & GRAPHICS, INC. 13 Airport Road • Hopkinton, MA phone 508.381.0941 fax 508.381.3784 www.exposigns.net		BEACON COMMUNITIES NORTH SQUARE AT THE MILL DISTRICT ATTN: MARINA ZANELLI		
LEASING CENTER WAYFINDING		APPROVAL SIGNATURE & DATE REQUIRED FOR PRODUCTION SIGNATURE _____ DATE _____		

LEASING OFFICE SIGN



MONUMENT SIGN - WITH LIGHTING AND LANDSCAPE BUFFER TREATMENT (SEE SHEET L4.03) - HEADING WEST ON COWLS ROAD

North Square at The Mill District
Comprehensive Permit Submission
Beacon Communities Development LLC
October 25, 2016



1 GALVANIZED STEEL ACCENT PLANTER
(PRECEDENT IMAGES)
not to scale

Ring and Post Rack

In-Ground Installation

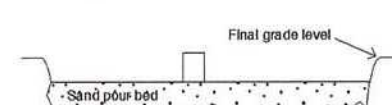
Tools Needed

- Level
- Cement mixing tub
- Shovel
- Trowel
- Hole coring machine with 4" bit
- Access to water hose

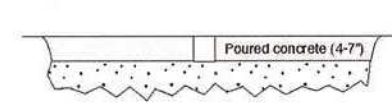
Installing into existing concrete

Core holes no less than 3" diameter (4" recommended) and 10" deep into sidewalk. Fill holes with Por-Flo or epoxy grout. Place rack into holes, making sure the rack is level. 30"-36" of the rack should remain above the surface. If the rack is less than 33" high, it will not support the bike adequately. Make sure the rack is level and held in place until the grout has set.

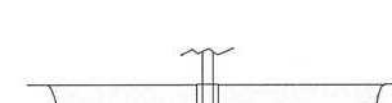
Installing into new concrete



1. Place corrosion resistant sleeve (min. 3" inside diameter) in sand pour bed in exact location where rack will be installed. Make sure top of sleeve is at same level as desired finished concrete surface. Fill sleeve with sand to keep it in place and prevent it from filling with concrete.



2. Pour concrete and allow to cure.



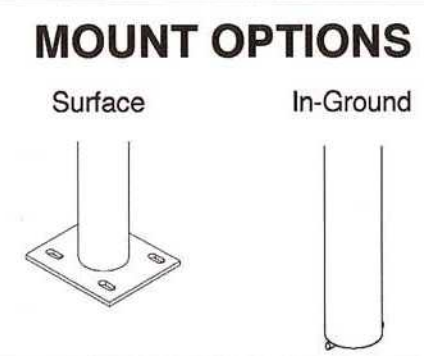
3. After appropriate cure time, dig out sand from sleeves and insert racks, making sure they are level and at the appropriate height. Pour in Por-Flo or epoxy grout and allow to set.

Ring and Post Rack Made in USA



- U-lock compatible
- Parks 2 bicycles
- 2 Points of contact
- Easy installation
- 97% Recycled content

Material	2" Sched. 10 steel pipe 1.5" 10ga steel tube
Height	35"
Width	16.5"
Weight	18 lbs

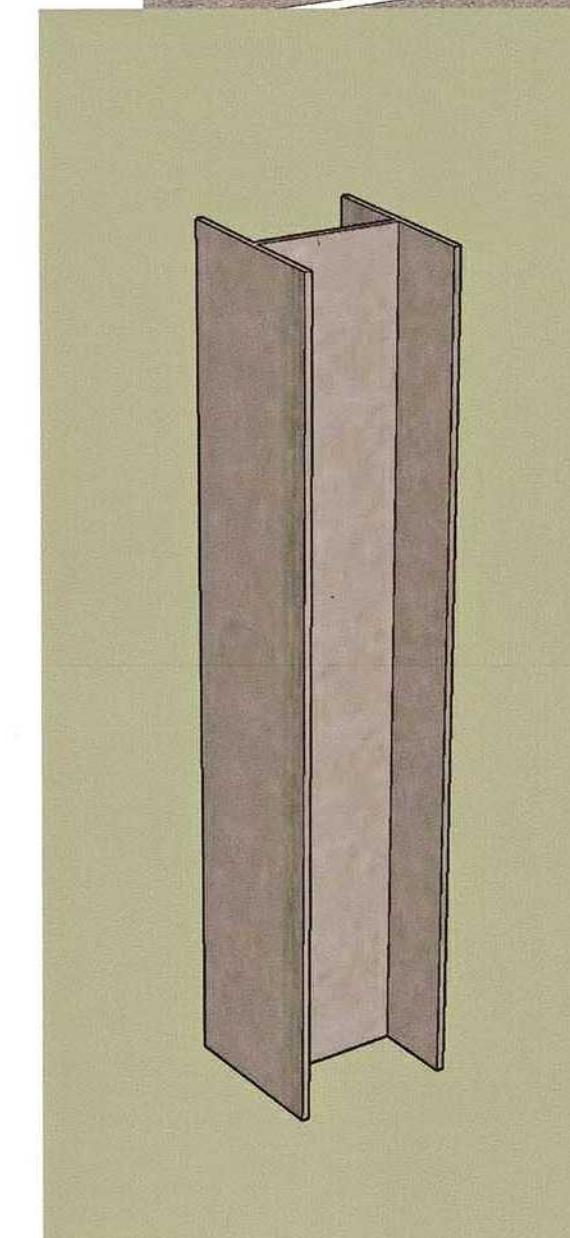


MOUNT OPTIONS
Surface In-Ground



FINISH OPTIONS
Galvanized Powder Coat

2 GALVANIZED STEEL POST + HOOP BIKE RACK
not to scale



- 6" X 6" (NOMINAL) W-BEAM
- 30" HEIGHT
- 4'-0" MINIMUM DEPTH CONCRETE FOUNDATION

3 STEEL BEAM BOLLARD
not to scale



- STRUCTURAL GRADE YELLOW PINE OR RECLAIMED WOOD TIMBERS
- 10" X 12" X 16'-0" TIMBER DIMENSION
 - 6" W-BEAM STEEL SUPPORTS
 - 18" SEAT HEIGHT

4 CUSTOM TIMBER BENCH WITH BACK
not to scale



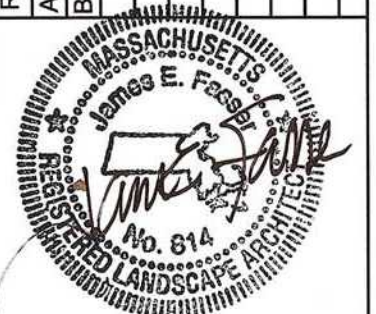
- STRUCTURAL GRADE YELLOW PINE OR RECLAIMED WOOD TIMBERS
- 10" X 12" X 12'-0" TIMBER DIMENSION
 - 6" W-BEAM STEEL SUPPORTS
 - 18" SEAT HEIGHT
 - 20'-1/2" SEAT DEPTH

5 CUSTOM TIMBER BACKLESS BENCH
not to scale

NOT FOR CONSTRUCTION

North Square at The Mill District
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Beacon Communities Development LLC
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ORIGINAL ISSUE:

10/25/16

SCALE: AS NOTED

LANDSCAPE
DETAILS -
SITE
FURNISHINGS

L4.02



GALVANIZED CORRUGATED SHEET METAL PANEL WITH GALVANIZED STEEL POSTS

- 6'-0" HEIGHT
- 6'-0" WIDTH SHEET METAL PANELS (BOLTED AT TOP AND BOTTOM RAILS)
- ALTERNATIVE TOP AND BOTTOM CROSS-BRACING PATTERN

[illegible]

- 2-RAIL CANTILEVER GATE
- OMIT 2"X2" CHAIN LINK INFILL PANEL
 - 5'-0" HEIGHT

FLAT TOP FLUSH BOTTOM SMOOTH RAIL $\frac{3}{4}$ " PICKET

NOTES:
 1. DESIGN AND SPECIFICATIONS SUBJECT TO CHANGE BY MANUFACTURER.
 2. POST AND FOOTINGS AS REQUIRED BY SITE CONDITIONS AND CODES.
 www.MerchantsMetal.com
 Tech:info@merchantsmetals.com
 800-360-1900
 Drawing: VSP-APP C-010

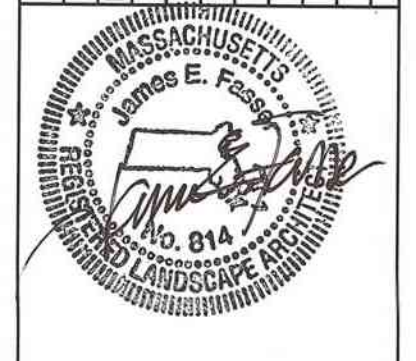
Merchants Metals®
the first name in fence solutions

SIZE	TITLE	PART NAME	REV
A	VINTAGE SQUARE PREMIUM MM	MONROE POOL FLAT TOP 3/4" RAIL	A
SCALE:	DRAWN BY:	DATE:	SHEET:
NOT TO SCALE	SHAWN	09/10/13	N/A

- METAL FENCE WITH TOP AND BOTTOM RAIL
- NO INTERMEDIATE RAIL
 - 5'-0" HEIGHT

PCA PROJECT #: 15122.00

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ORIGINAL ISSUE:
10/25/16

SCALE: AS NOTED

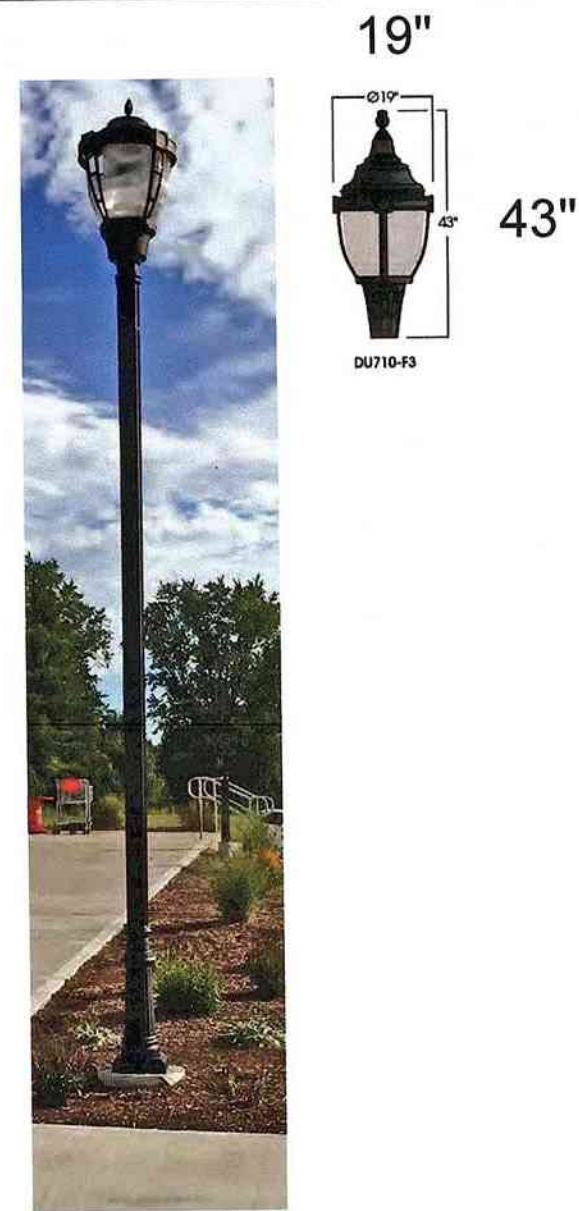
LANDSCAPE
DETAILS -
FENCES
AND GATES

L4.04

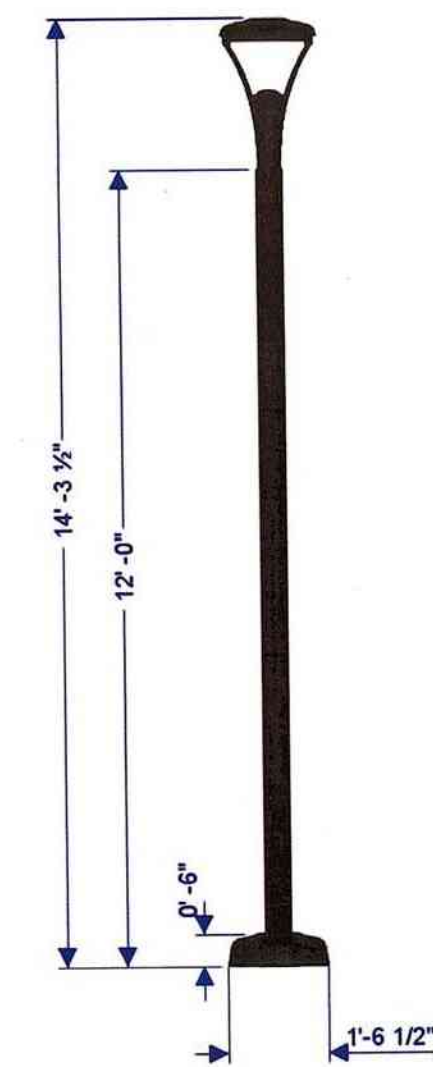
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North Square at The Mill District
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Beacon Communities Development LLC
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LIGHTING LEGEND



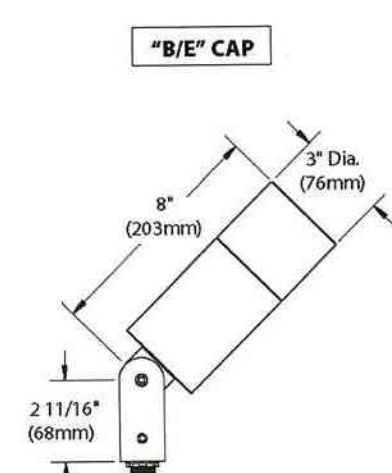
A EXISTING POLE LIGHT FIXTURE
(TO REMAIN OR RELOCATE)



B POST TOP POLE LIGHT FIXTURE
(LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE,
14'-20' POLE HEIGHTS)



C PARKING AREA POLE LIGHT FIXTURE
(LED, DARK-SKY FRIENDLY, CUTOFF FIXTURE,
20'-0" HEIGHT POLE)



D IN-GROUND SIGN LIGHT FIXTURE
(2 LIGHTS PER SIGN)

PROVIDE TIMER TO TURN
FIXTURE OFF DURING
LATE NIGHT HOURS

EXISTING LIGHT FIXTURE
(SALVAGE + RELOCATE HERE TO PROVIDE
LIGHTING CONTINUITY AT COWLS ROAD)

EXISTING LIGHT FIXTURE
(TO REMAIN IN PLACE)

EXISTING LIGHT FIXTURE
(TO REMAIN IN PLACE)

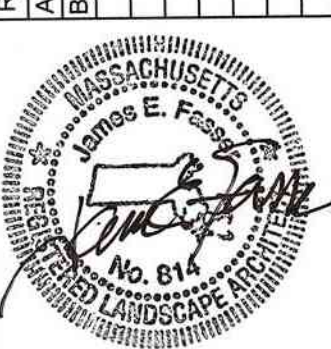
0 15' 30'
SCALE: 1" = 30'-0"

North Square at The Mill District
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Beacon Communities Development LLC
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NORTH SQUARE AT THE MILL DISTRICT AMHERST, MA

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ORIGINAL ISSUE

10/25/16

SCALE: AS NOTED

SITE
LIGHTING
KEY
PLAN

L5.01

PCA PROJECT #: 15122.00

Luminaria Location Summary							Luminaria Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt	LumNo	Label	X	Y	Z	Orient	Tilt
1	d701 JL	7901.75	3601.15	16	250.521	0	27	SL4	7414	3354.5	10	71.795	0
2	d701 JL	7966	3568.07	16	250.521	0	28	SL4	7533	3398.5	10	71.795	0
3	d701 JL	7942	3560.5	16	250.521	0	29	SL4	7461	3564.5	20	69.955	0
4	d701 JL	7712.25	3531.15	16	162.801	0	30	SL4	7427	3460.5	10	249.193	0
5	d701 JL	7929.25	3515.75	16	127.643	0	31	WV	7294.5	3564.5	10	71.795	0
6	d701 JL	7948.25	3466.25	16	27.613	0	32	WV	7330.5	3567.5	10	71.061	0
7	d701 JL	7496.25	3446.25	16	162.828	0	33	WV	7383	3566.75	10	71.061	0
8	R24x	7322.75	3309	20	283.707	0	34	WV	7393	3597	10	164.65	0
9	R24x	7351.5	3234.5	20	143.613	0	35	WV	7313.75	3567	10	71.665	0
10	R24x	7169.5	3227.25	20	15.588	0	36	WV	7386	3559.75	10	347.293	0
11	R24x	7288.75	3309	20	192.54	0	37	WV	7393	3507.5	10	164.65	0
12	R24x	7366.75	3154.25	20	167.264	0	38	WV	7358	3465.5	10	347.293	0
13	R24x	7183.5	3117.5	20	15.588	0	39	WV	7262.5	3466	10	164.65	0
14	R24x	7325	3085	20	139.313	0	40	WV	7370.75	3479	10	241.704	0
15	R24x	7205.5	3016.5	20	10.686	0	41	WV	7297.75	3346.25	10	347.293	0
16	SL2	7392.25	3979.25	20	106.655	0	42	WV	7373.75	3337.5	10	338.806	0
17	SL2	7216.75	3457	20	146.656	0	43	WV	7377.5	3327	10	73.217	0
18	SL3r	7405	3998.5	20	340.894	0	44	WV	7246.5	3322.75	10	254.838	0
19	SL3r	7380.75	3923	20	340.894	0	45	WV	7406	3316.75	10	73.217	0
20	SL3r	7257.5	3668	20	190.026	0	46	WV	7398.75	3306.75	10	73.217	0
21	SL4	7270.25	3617	20	190.026	0	47	WV	7343.5	3303.25	10	164.539	0
22	SL4	7294.75	3547.75	20	190.026	0	48	WV	7472.75	3295.25	10	73.217	0
23	SL4	7380.25	3406	20	161.164	0	49	WV	7264.25	3290	10	73.217	0
24	SL4	7453	3381.75	20	242.395	0	50	WV	7316.25	3284.25	10	139.007	0
25	SL4	7533	3397.75	20	251.253	0	51	WV	7415.75	3245.25	10	352.646	0
26	SL4	7544.5	3389.75	20	198.356	0	52	WV	7334.25	3098.5	10	139.007	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Off Site	illuminance	Fc	0.85	5.2	0.0	N.A.	N.A.
Lot A	illuminance	Fc	1.36	3.6	0.1	13.60	36.00
Lot B	illuminance	Fc	1.57	3.5	0.2	7.85	17.50
Lot C	illuminance	Fc	1.75	5.2	0.0	N.A.	N.A.



OMNI-LITE, INC. 263 WINN STREET BURLINGTON, MA 01803 PH: 817-272-2300, FAX: 817-272-0759 www.omnilight.com	
PROJECT:	
North Square XXX	
CLIENT:	
SCALE: FEET DATE: 11/11/2016	
FILE: omni north square 01c.dwg SALES PERSON: Sean Goulding	
THESE DRAWINGS ARE FOR CONCEPTUAL USE ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION. GENERATED FORM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.	

NORTH SQUARE AT THE MILL DISTRICT

AMHERST, MA

PCA PROJECT #: 15122.00

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FINAL ISSUE:
10/25/16

PERSPECTIVES

A1.00

15 PCA



North Square at The Mill District
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Beacon Communities Development LLC
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PERSPECTIVES



NORTH SQUARE AT THE MILL DISTRICT

PCA PROJECT # 15122.00

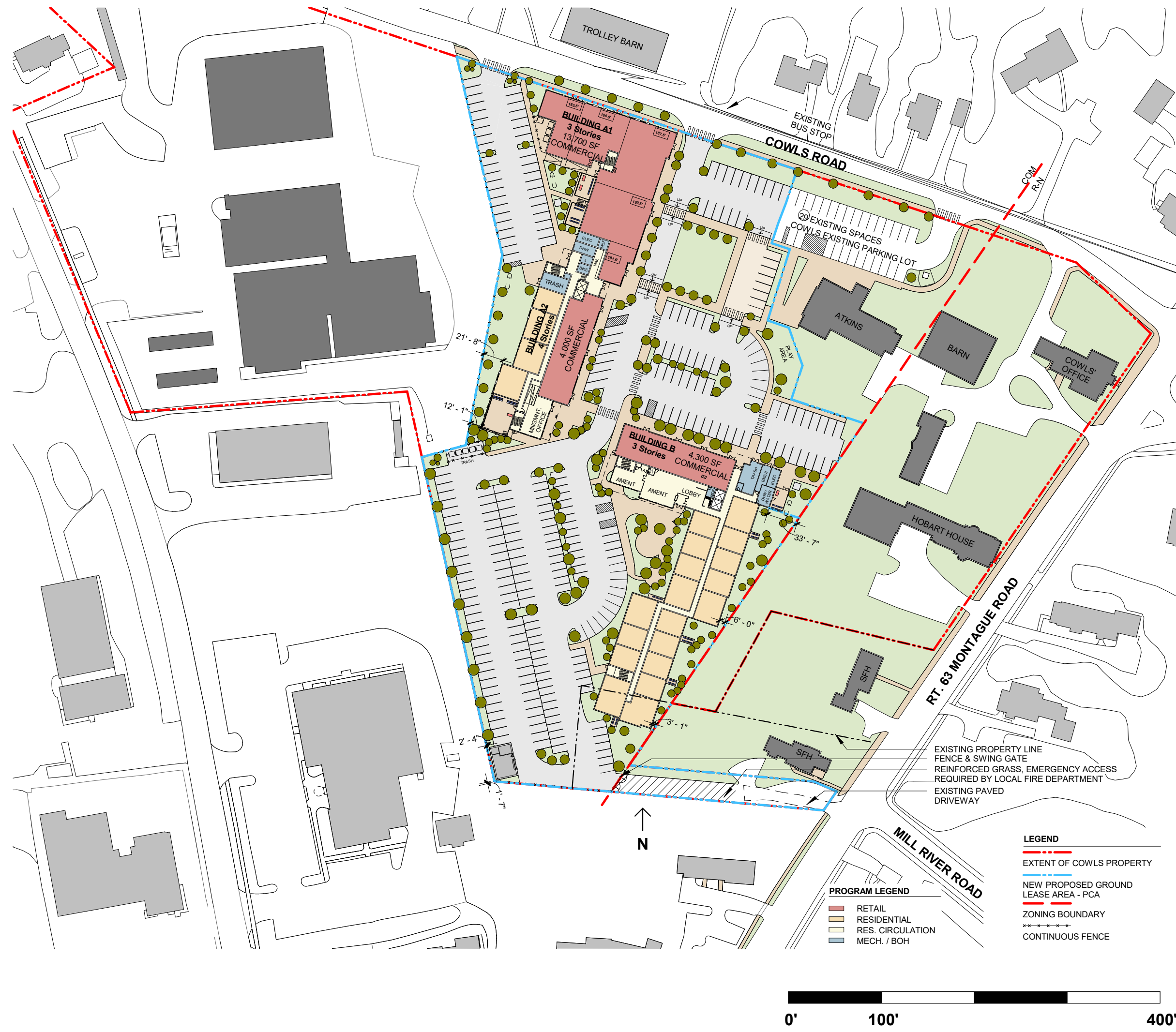
AMHERST, MA

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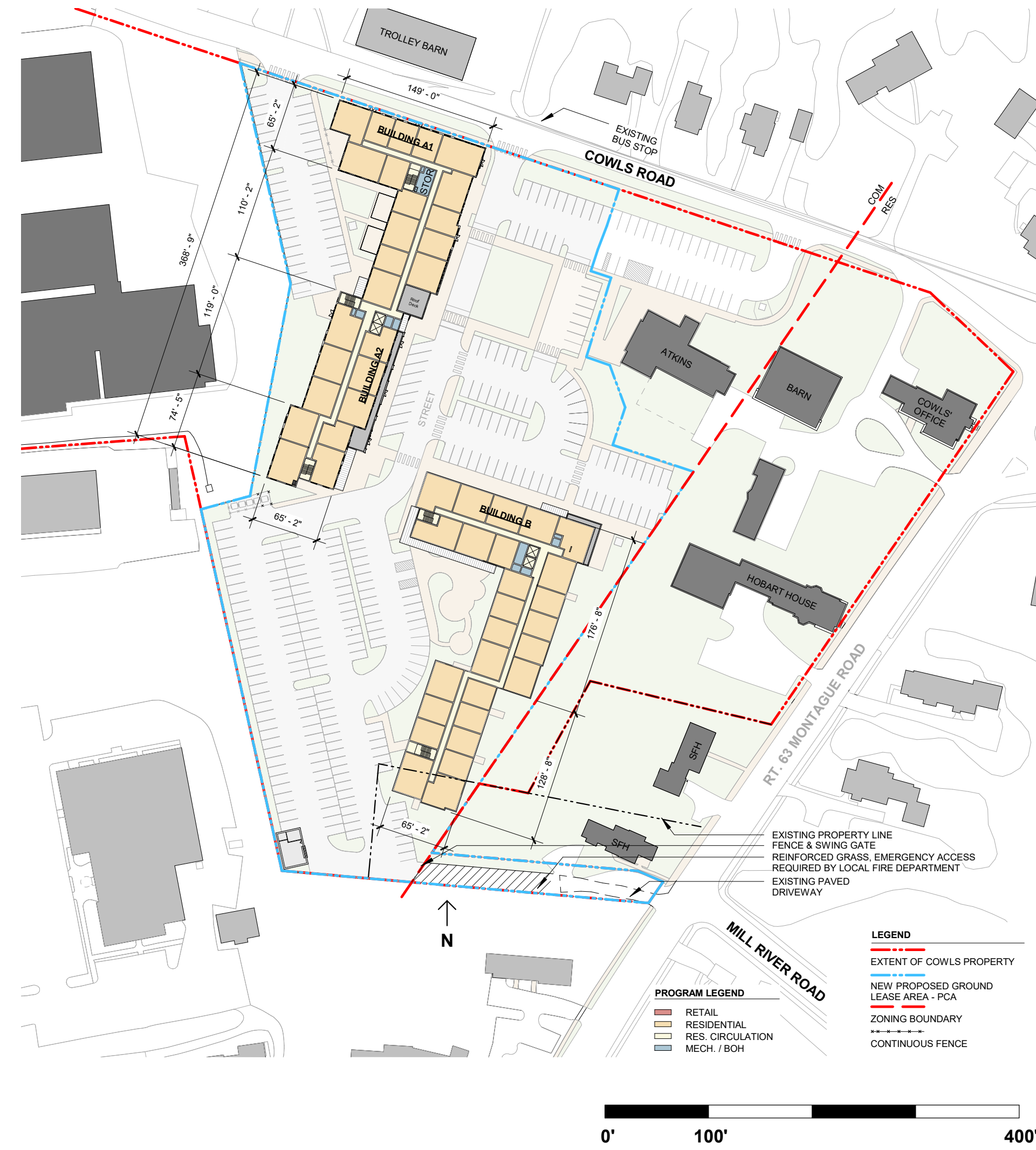


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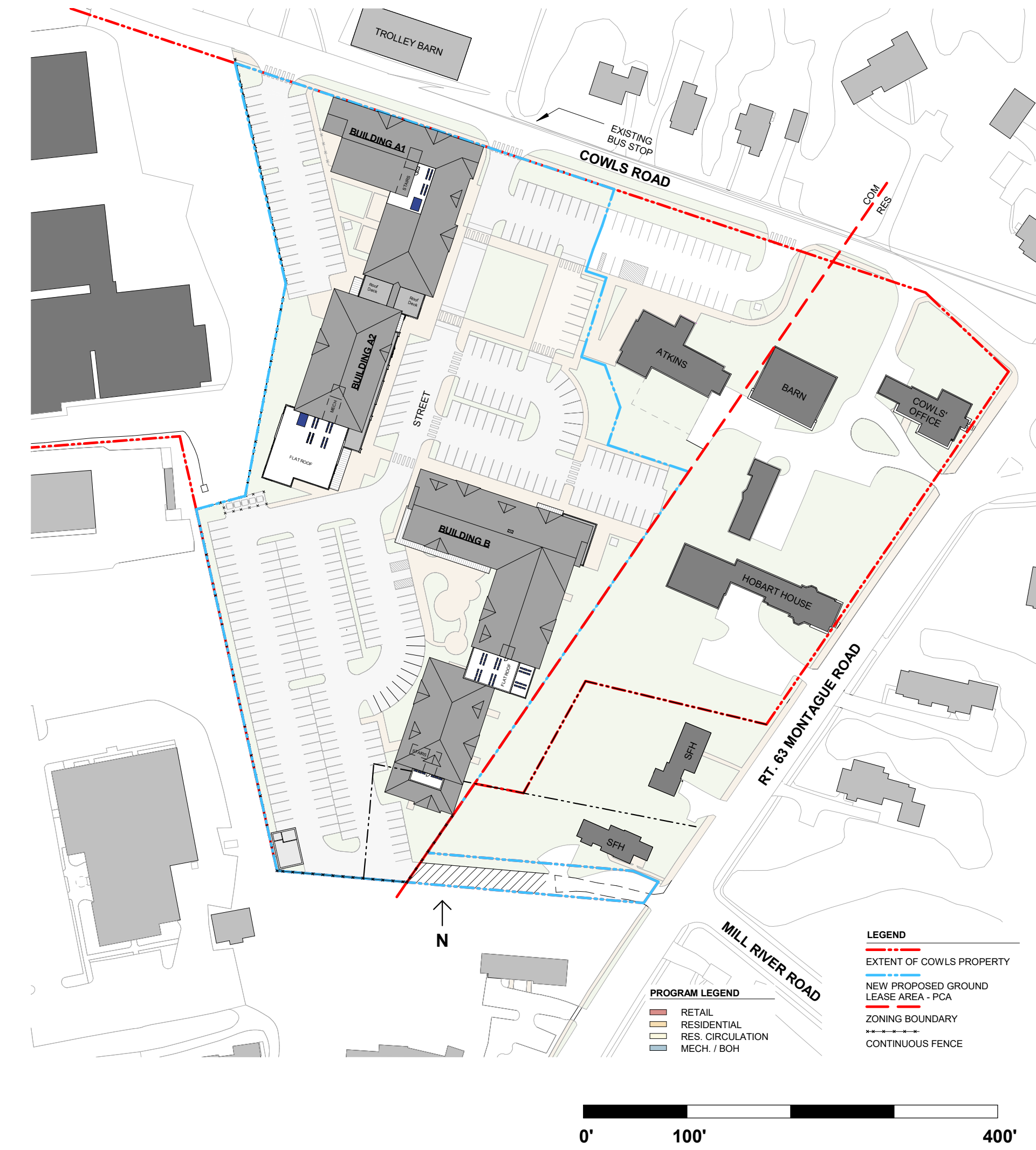
PERSPECTIVES



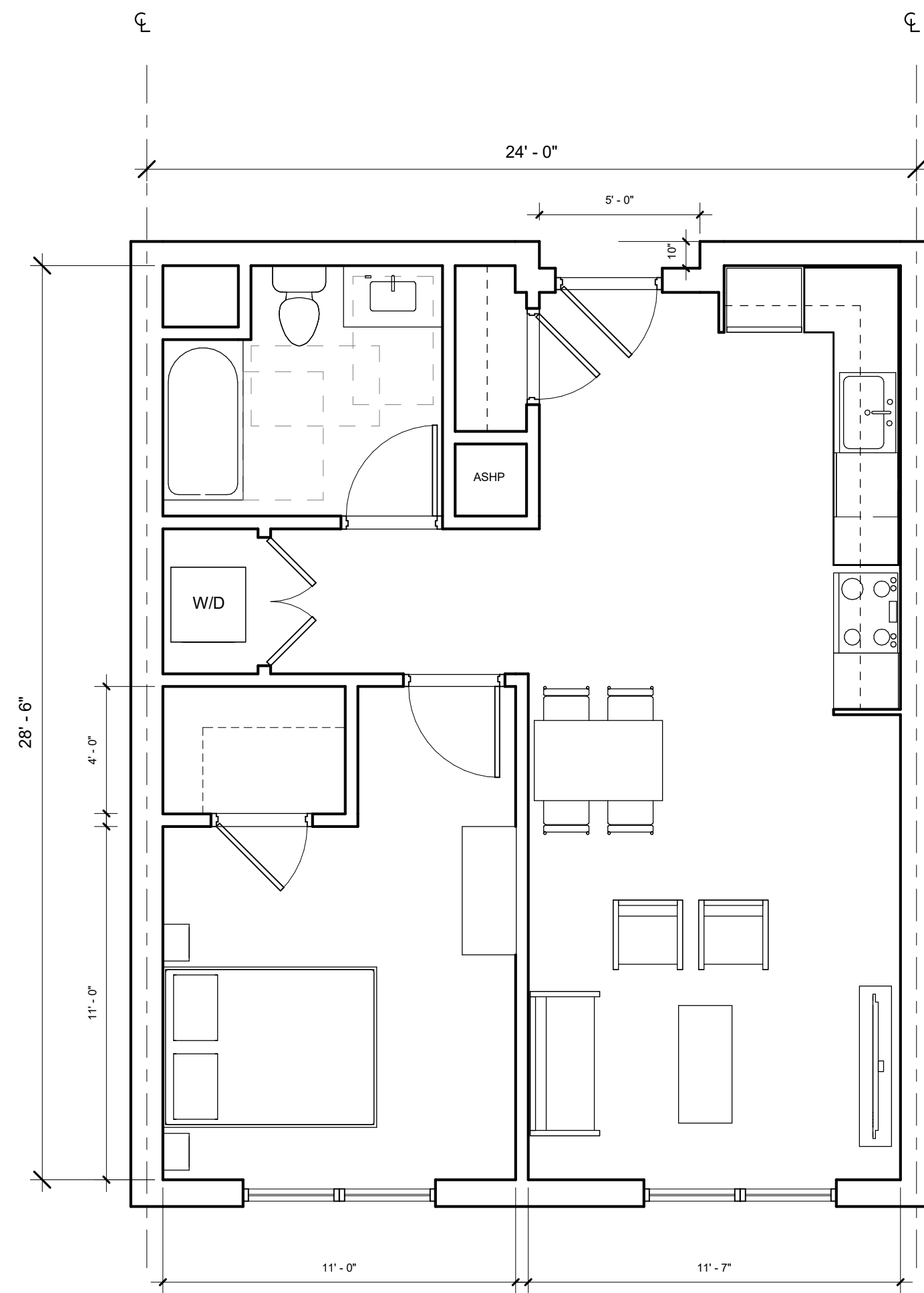
1 GROUND FLOOR PLAN
1" = 100'-0"



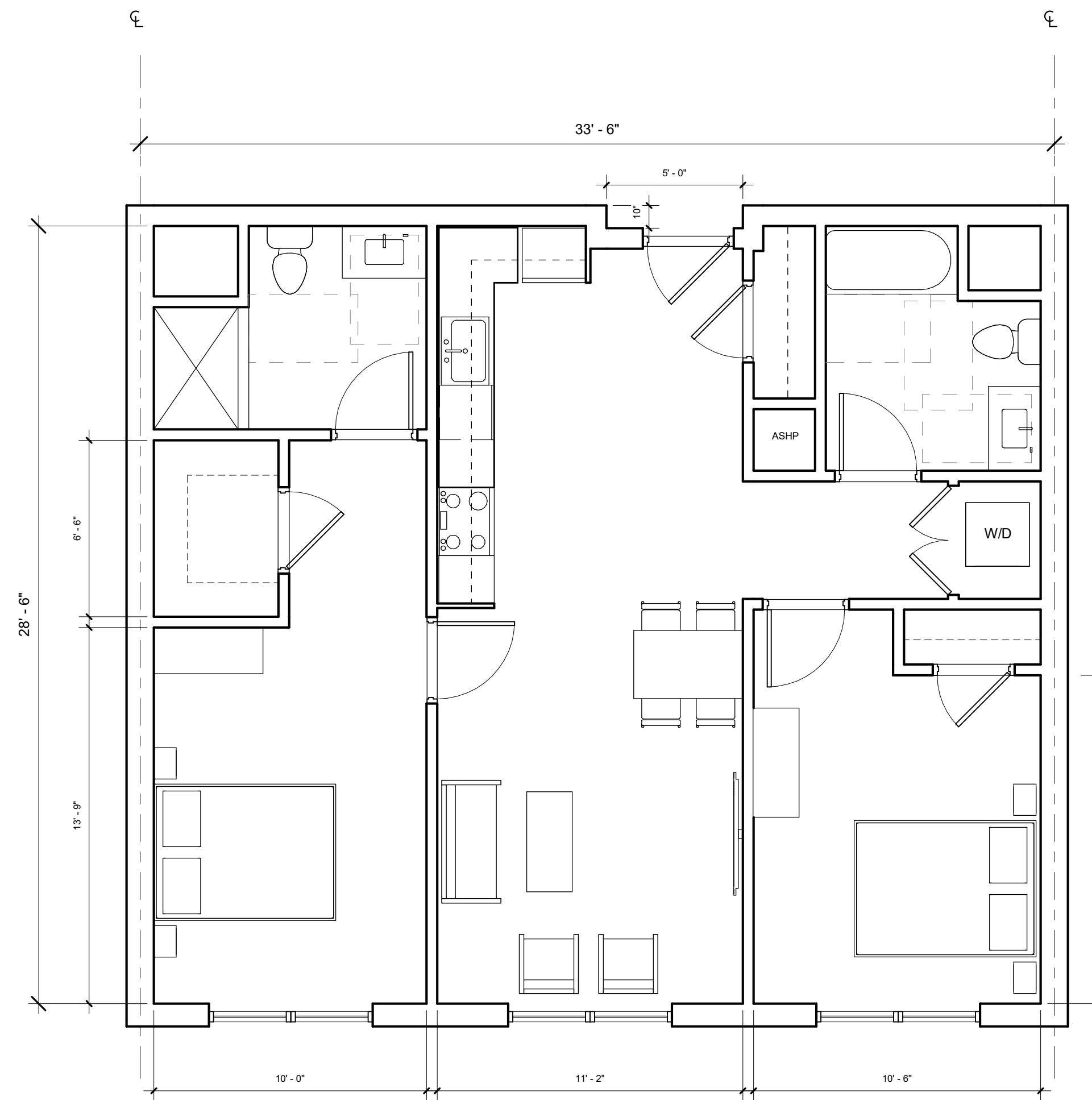
2 TYPICAL UPPER FLOOR PLAN
1" = 100'-0"



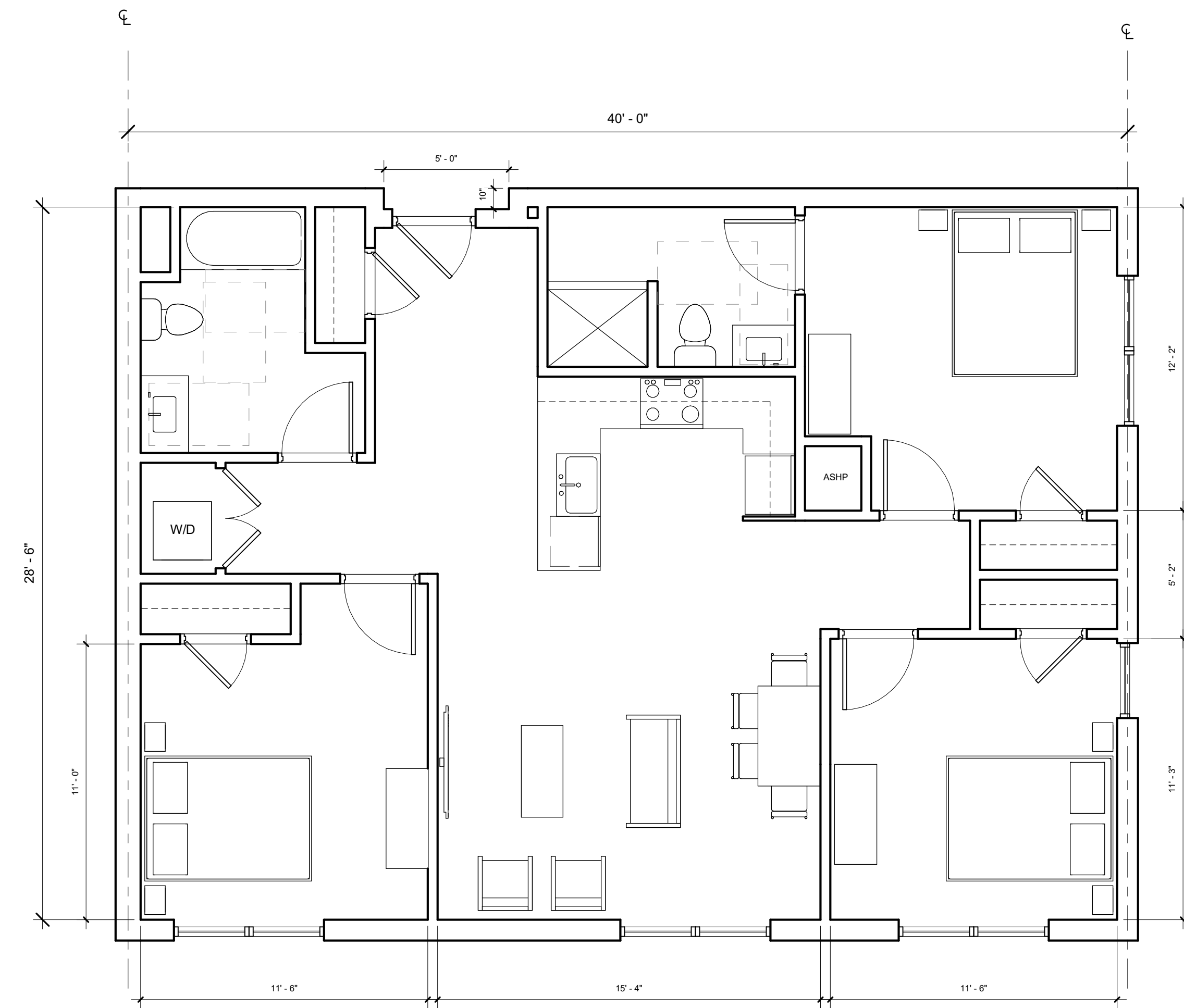
3 ROOF PLAN
1" = 100'-0"



TYP. ONE BEDROOM
650 SF INSIDE AREA

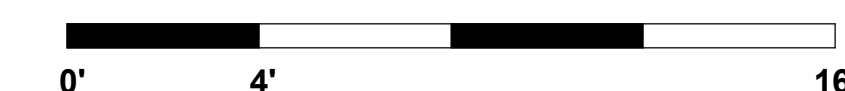


TYP. TWO BEDROOM
920 SF INSIDE AREA

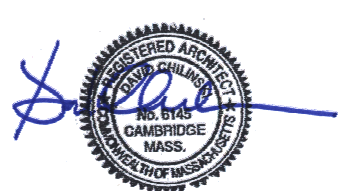


TYP. THREE BEDROOM
1,110 SF INSIDE AREA

4 TYPICAL UNIT PLANS
1/4" = 1'-0"



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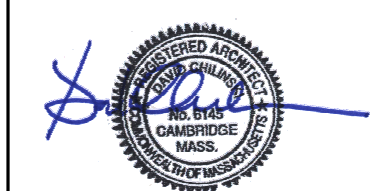


ORIGINAL ISSUE:
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TYPICAL
FLOOR & UNIT
PLANS

A2.00

REVISIONS:	10/25/2016	11/22/2016
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ORIGINAL ISSUE:
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BUILDING A
ELEVATION

A2.10

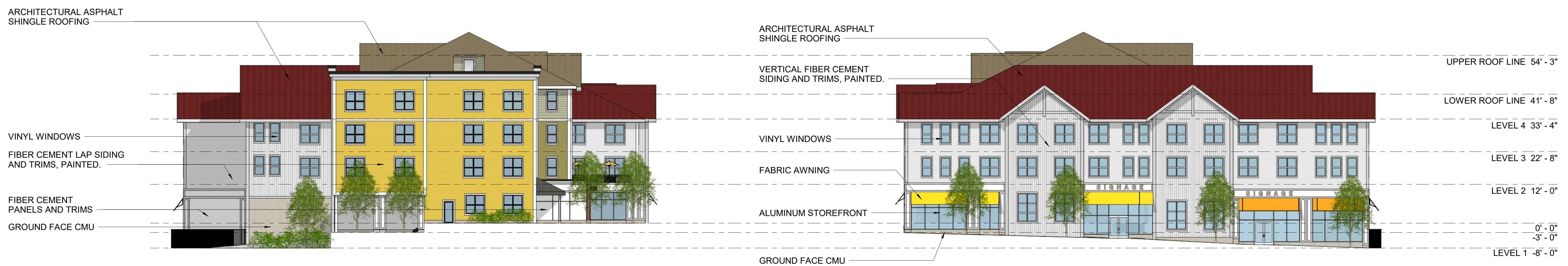
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EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

0' 16' 64'
Scale: 1/16" = 1' - 0"

North Square at The Mill District
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ORIGINAL ISSUE:
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BUILDING B
ELEVATION

A2.11

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